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# The Ledges Pattern Book

DESIGN GUIDELINES FOR RESIDENTIAL NEIGHBORHOODS

MAY 2000

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DESIGN GUIDELINES FOR RESIDENTIAL NEIGHBORHOODS

Prepared for

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May 2000

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# The Ledges Pattern Book

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*Twickenham Houses*

## The Ledges of Huntsville

The Ledges continues the American tradition of building picturesque villages. The design of its neighborhoods is based on the inherited fabric of historic settlements in the Huntsville region including places such as Twickenham and Mooresville. These turn-of-the-century communities embody the best principles of good neighborhood design. Big houses and small houses are designed in such a way to sit side-by-side on a street in a harmonious and continuous pattern. The builders and owners agreed to consistent setbacks in the front yards and houses on corners were designed to create a public façade on two streets. Neighborhood parks, village greens and tree-lined streets provide focal points for neighborhoods and create highly desirable addresses, yet the space is shared by all residents.

Although the communities were typically built over a long period of time, the mix of architectural styles share common elements such as porches, materials, massing and proportions which produces a feeling of a unique place.



*Mooresville*



*Twickenham Houses*



*Mooresville*



Aerial Perspective



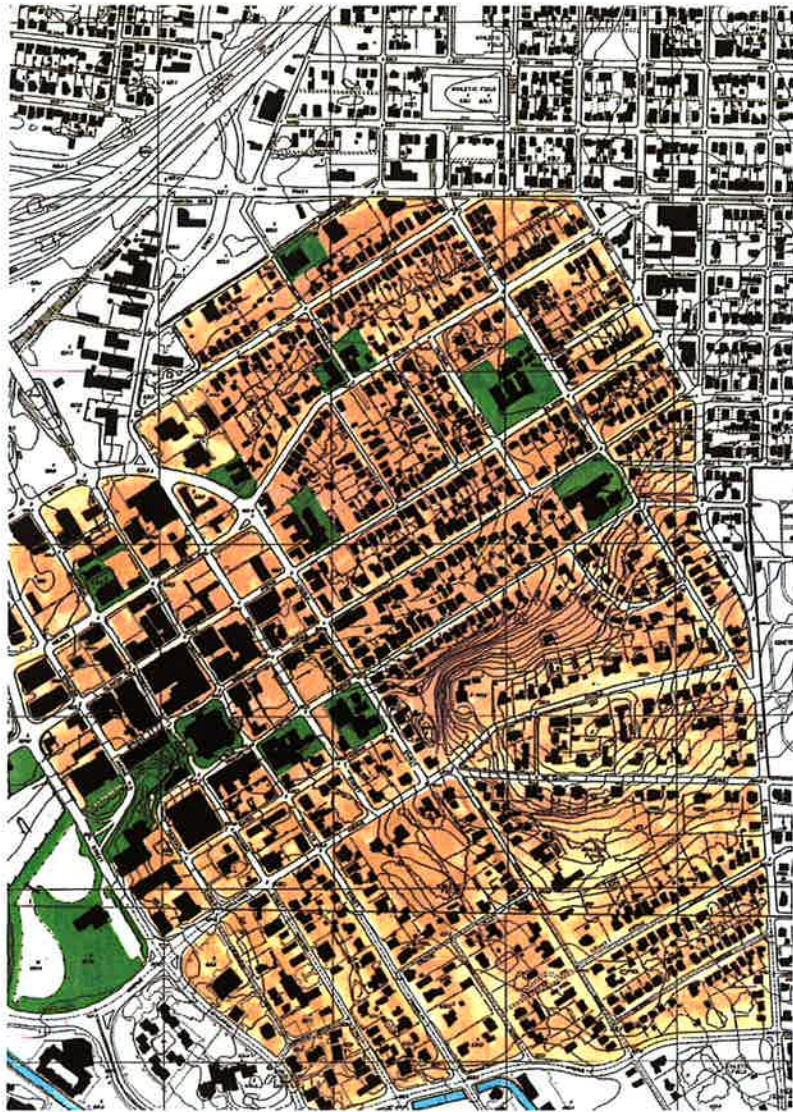
## The Ledges Pattern Book

The Ledges Pattern Book contains design guidelines for both community character and architectural character. The first section, *Community Patterns*, describes the general principles for placing houses on their lots as well as specific principles for lots within the different neighborhoods. These principles include setbacks, overall massing of the house, locations for fences and ancillary structures and access from driveways or alleys. The second section, *Architectural Patterns*, describes the palette of architectural styles for the Ledges and includes guidelines for designing the parts of the house that are visible from a street, golf course or public space.

Once a lot has been selected, the guidelines for placing the house on the lot can be determined by turning to the page that describes the general conditions for the lot

type and then the page that describes the particular neighborhood in which the lot is located. For instance, if you have selected a Villa Lot on Castle Down Drive, you would first turn to page B-5 to determine the general setbacks and width of the house. You would then turn to page B-9 to determine what specific variations or additional site guidelines might apply.

The specific house design would then be developed or selected in accordance with one of the styles described in Section C – Architectural Patterns.



*The Plan of Twickenham and Downtown Huntsville*



*Beautiful, established houses are typical of the Twickenham area.*



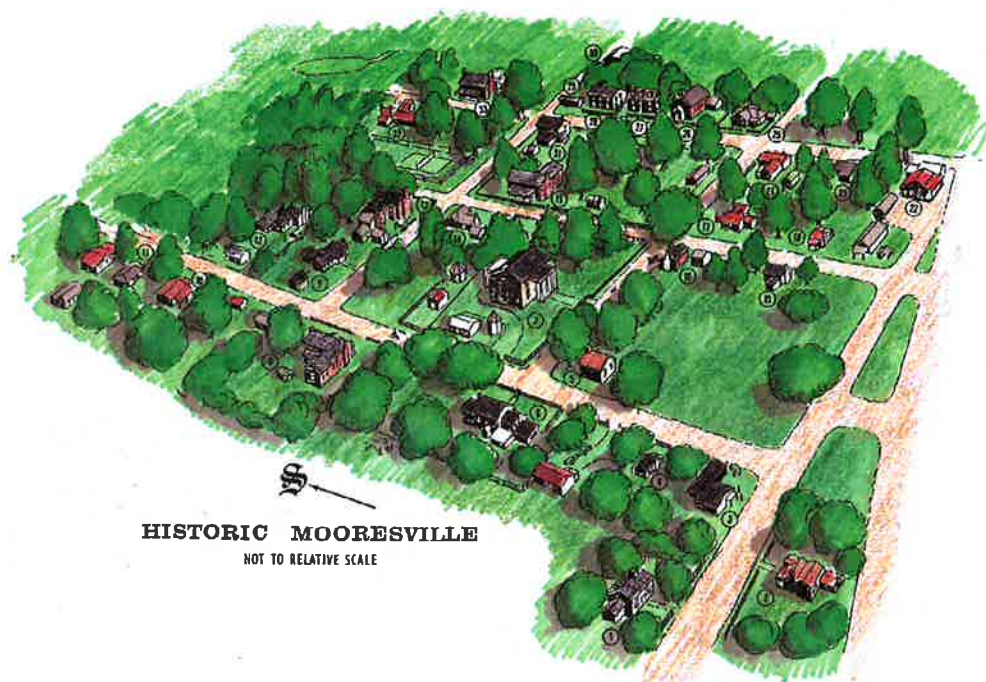
*Twickenham streets are intimate with tree lawns, hedges and wrought iron fences.*

## Twickenham

Twickenham has a special character that inspired the design of the village center in the Ledges. The original neighborhood was begun as a 'development' by John Hunt in the early 1800s and continued through the 1930s. The houses are a mix of Classical, Colonial Revival and Italianate styles with some later Craftsman styles. Twickenham neighborhoods have streets lined with a variety of house sizes and styles, some streets have large houses set in generous front yards with low brick and stone walls at the lot's edge on one side, and on the other side of the street houses are closer together. Many of the house lots are served by garden-like alleys lined with stone edging. Streets have parallel parking and continuous sidewalks. The reconstruction of Constitution Village in Twickenham conveys both a sense of refined urbanity and relaxed neighborliness with its gracious brick façades and white, pane shop front windows. Houses are sprinkled in between the shops and glimpses of kitchen gardens are visible from the street.



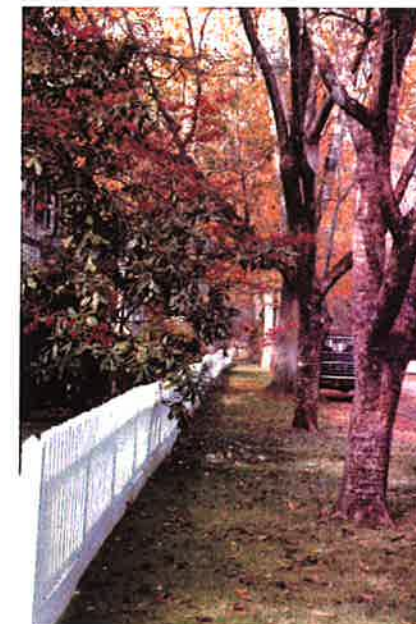
*Constitution Village is a reconstruction of historic shops in downtown Huntsville.*



*Aerial perspective published by the Historic Society.*



*Mooresville porches*



*Informal tree lawns framed by picket fences*



*Intimate streets are the hallmark of Mooresville.*



*Mooresville has a variety of large and small houses.*



*Private gardens become public spaces.*

## Mooresville

Mooresville, just west of Huntsville, is a quintessential southern village built in the early nineteenth century. This tiny settlement is composed of mostly classical-style brick and clapboard houses on spacious lots trimmed with white, picket fences. The village has a mix of buildings including a post office, a general store and a church mixed into the residential fabric. One of the most striking characteristics of Mooresville is the character of the informal streets with their deep grass verges, narrow paved streets and continuous tree canopies. The streets melt into private gardens without fences or walls creating impromptu public spaces for all to enjoy.

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Victorian Era



Adam Style Classical



Classical Revival



Victorian Era Cottage



Colonial Revival

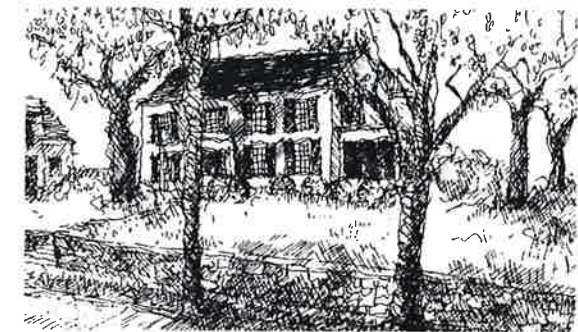


Adam Style Classical

## Building on Huntsville Tradition

The historic settlements in the Huntsville region were largely built during the mid-1800s. The predominant architectural style is Classical, with houses designed in the Adams/Federal and Greek Revival styles. These include a mix of red brick and clapboard exteriors with slate and metal roofs. During the early 1900s, Colonial Revival houses were built that provided a vocabulary complementary to the classical era styles. Colonial Revival is also a pervasive style. The Victorian era houses typically add 'spice' to the neighborhood fabric. They were largely built using Italianate massing and detailing in urban locations, and Carpenter Gothic in villages.

This palette of architectural styles has limitless variations and creates a varied and interesting neighborhood character. This mix is the distinguishing character of neighborhoods like Twickenham and Mooresville and set them apart from later developments where the vocabulary is more eclectic and discordant. Houses built in The Ledges will be designed in one of the three architectural vocabularies. While there are pre-approved house plans available to builders and homeowners, the *Pattern Book* contains a series of design guidelines for architects to use when designing individual houses in one of the three styles. Since the *Pattern Book* is not an exhaustive or definitive manual for each style, architects and designers may also draw on historic precedents as a basis for new house designs in addition to the *Pattern Book*.







*View of Crest Park*

## The Site

The Ledges is situated on a spectacular mountaintop site overlooking Huntsville and the valleys to the east. The plateau is lined with steep rock escarpments along the perimeter creating a series of marvelous views to the valley floor in all directions. The woodlands and gently rolling land form a series of 'rooms' on the plateau within which the neighborhoods are designed. The streets and golf course have been designed to preserve the natural character of the site and to enhance the important and environmentally sensitive areas within the site. The golf course forms a continuous park around the perimeter of the village while protecting the views from the valley to the plateau. Streets are designed as ribbons that follow the contours of the natural topography as much as possible to minimize the areas of disturbance to existing landscape and to create the character of intimate streets found in the historic settlements.



*The plateau environment*

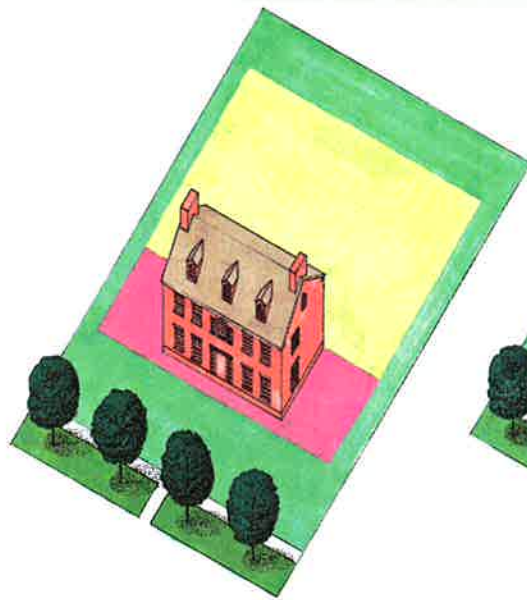


*The Rock Ledges*

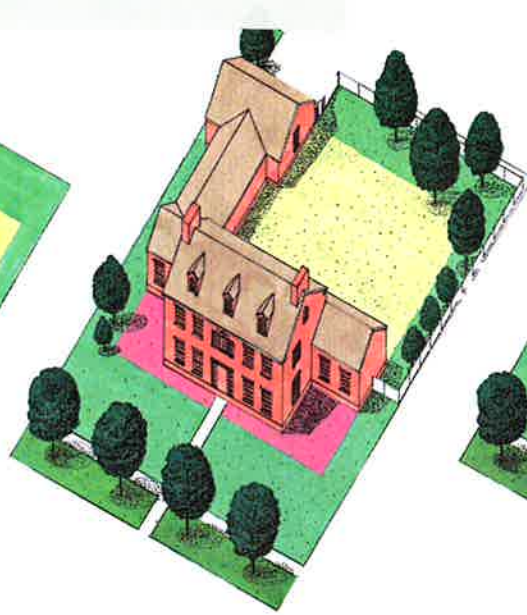


*Views from the site*

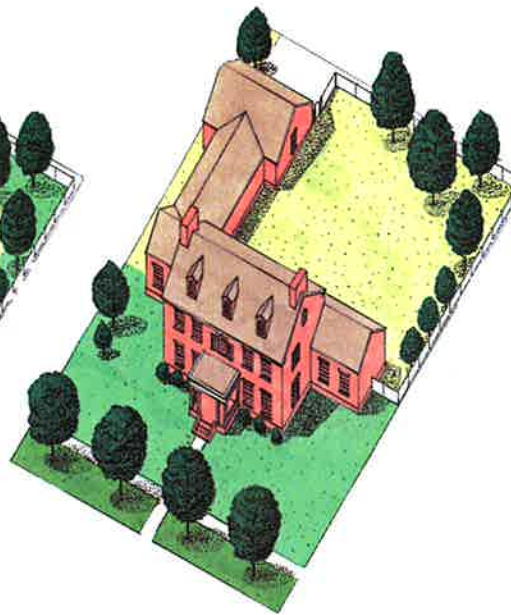
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A. The Main Body of the house placed within a defined Front Façade Zone.



B. Smaller one story or one and one-half story Wings are added to the sides and the back. The faces of the house visible from the street create the Front Façade.



C. Front Porches add an essential element of character and contribute to the intimate scale of the neighborhood.



Partial plan of lots showing typical house placement.

## Houses of the Ledges

Building a house in The Ledges is part of the building of a neighborhood. Each house contributes to the overall character and quality of a particular street or park address. Houses will relate to one another within a given address – set-backs will be consistent, landscaping will be coordinated, massing will be similar. The public face of the house, the **Front Façade**, is an important element that defines the neighborhood character. Porches, windows and doors, correct proportions and traditional ‘detailing’ are important facets that contribute to the character of The Ledges. The private areas of the back yard will be screened from public view by the siting of the house and the relationship between houses.

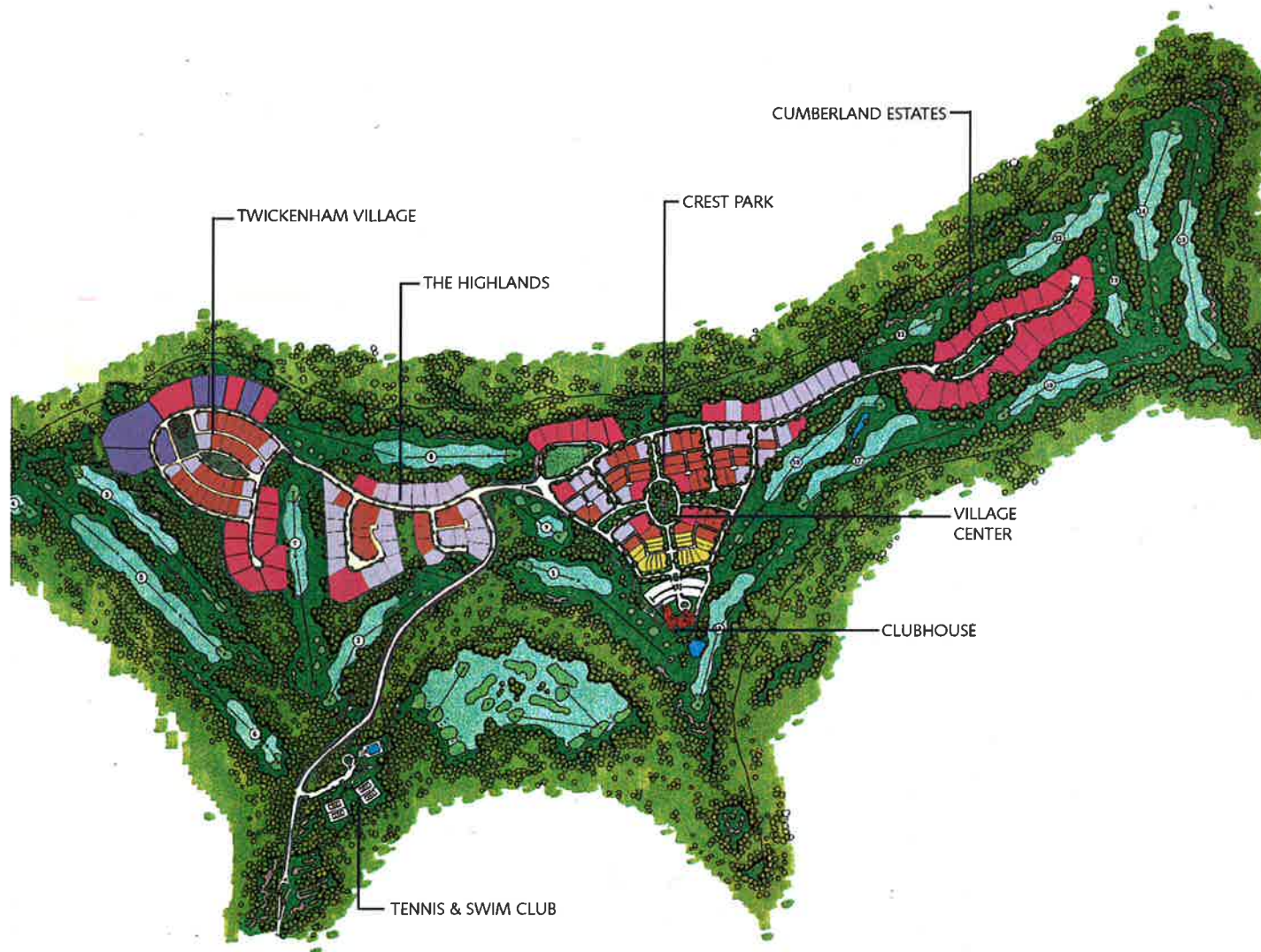
The **Front Façade** of each house includes all the sides of a house that are visible from the street, the golf course or public spaces. Traditional houses have three major elements that make up the house form including:

The **Main Body**, which is the largest mass of the house in the front yard contains the front door and has a composed window and door pattern.

**Side Wings** are one or one and one half stories set back from the front façade of the Main Body. These are typically smaller in scale than the Main Body.

**Porches** can include full-façade one and two story structures, side porches on Colonial Revival houses, or smaller porticos surrounding the front door.

Corner houses have public façades on two streets. These houses use Side Wings and fences to create a formal composition on the side street, and to screen the private world of the back-yard from public view. Each lot has zones within which the Front Façade of the house can be placed. These are described on page B-2.



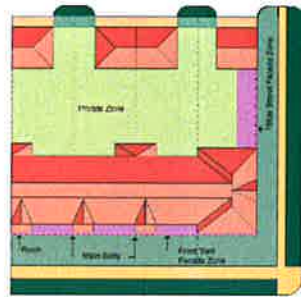
## Lot Types

The Ledges offers a mix and variety of lot types and locations within distinct neighborhoods. Townhouse lots will have 30 foot wide attached houses and are typically 120 feet deep, served by alleys. Cottage lots are typically 60 feet by 100 feet deep and are also served by alleys. Detached houses may be constructed on these lots. Villa lots are typically 80 to 90 feet wide by 120 to 150 feet deep. These lots are a mix of lots served by alleys and lots with front driveway access. Estate lots vary from 100 to 120 feet wide by 120 to 150 feet deep and are typically accessed by driveways off the street.

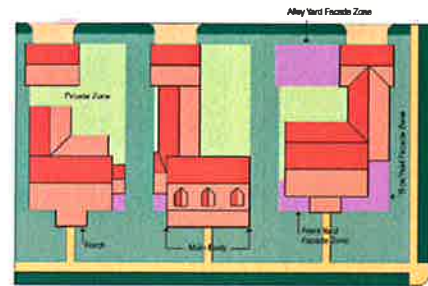
The village center has the greatest mix of building types. In addition to all of the lot types, the center contains the clubhouse and golf villas over shops and management offices on the ground floor. Many lots will have side yards and rear yards fronting on the golf course. Houses built on these lots will be designed to take advantage of the course views, and to present a finished, well-composed façade to public view from the course.



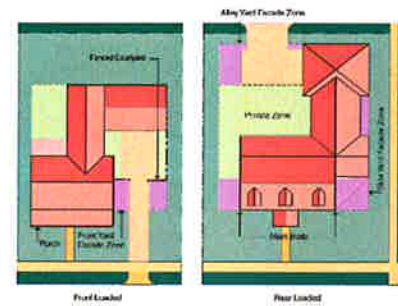
Plan of Lots



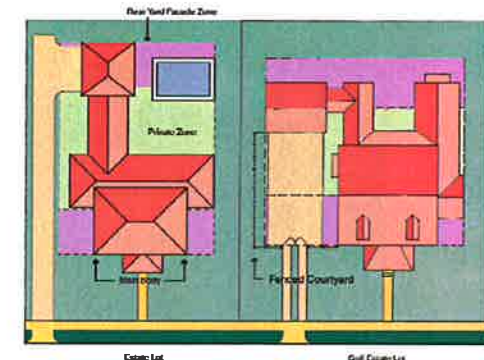
Townhouse Site Plans



Cottage Site Plans



Villa Site Plans



Estate Site Plans



Illustrative Lot Plan

## Lot Types & Definitions

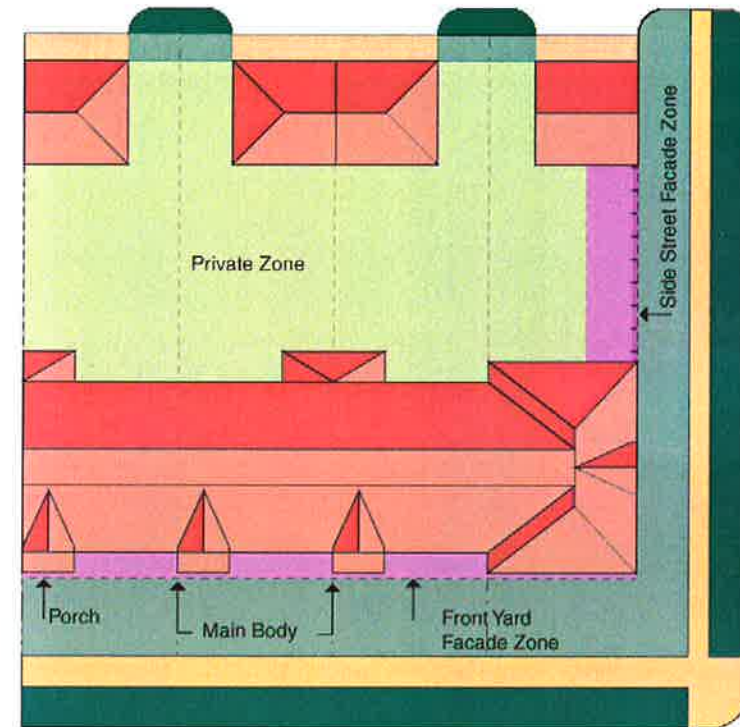
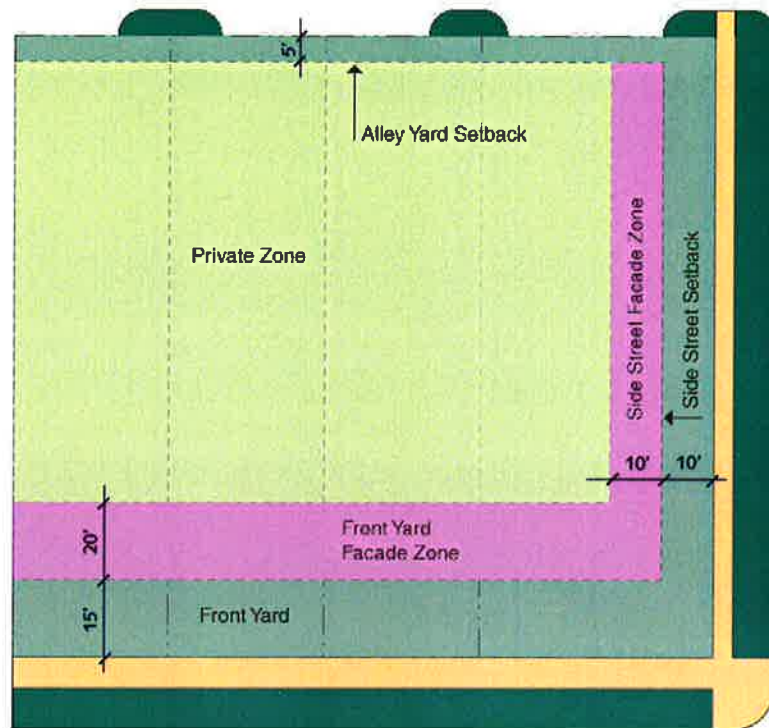
Each Lot has set-back lines that define a minimum yard between houses, streets and alleys. There are also zones within which the house shall be placed.

The **Front Façade** shall be placed within the **Front Façade Zone** described in the general conditions for the lot type and in the specific guidelines for the lot location within the Community Patterns section. This zone is set back from the front property line at a distance defined by the **Front Yard Set-Back Line**. The depth of the zone is measured from that line. The **Front Yard** is the area between the **Front Yard Setback Line** and the front property line. **Porch**s and bay windows can project into the **Front Yard**.

On corner lots, a **Side Street Façade Zone** is established adjacent to the cross street. It is set back from the side street a certain dimension established in the Community Patterns for each neighborhood and is defined by the **Side Street Set-Back Line**. The depth of the zone is measured from that line. **Side Wings**, garages and fences are placed within this zone. The **Front Façade** of the house is placed within this zone.

**Alley Set-Back Lines** define the distance from the alley right-of-way to a built structure. **Side Yard Set-Back Lines** define the minimum distance between the structure and the side yard property line.

A **Rear Yard Set-Back Line** is established as a minimum set-back for garages and side wings. A **Rear Yard Façade Zone** is established for lots backing on to the golf course or lots with a rear yard visible from a public space.



## Townhouse Lots

Front Yard Set-Back: 15 feet except where noted by specific neighborhood guidelines within Community Pattern Section.

Side Yard Set-Back: Not applicable.

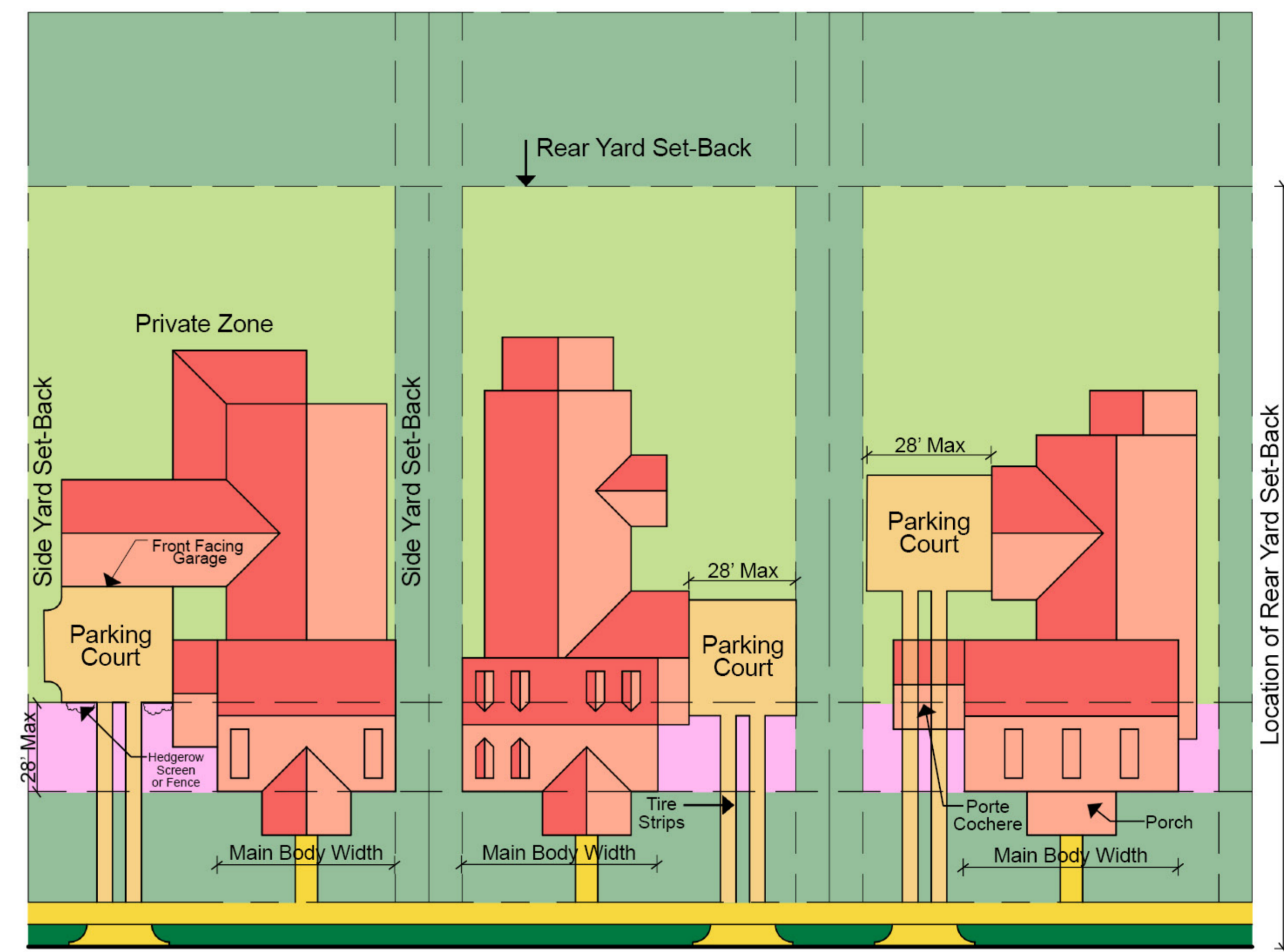
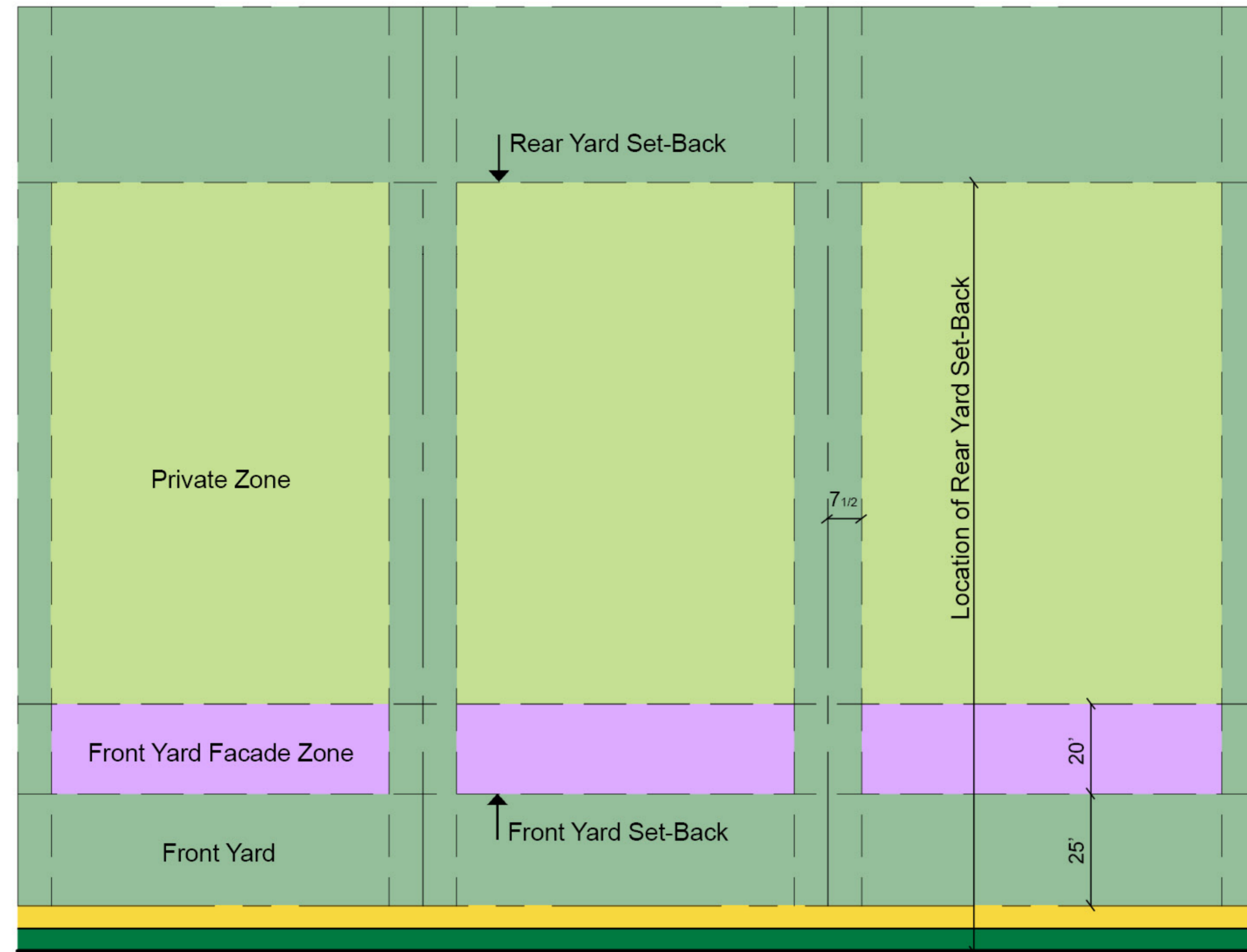
Side Street Set-Back: 10 feet.

Side Street Façade Zone(Corner Lots): 10 feet deep.

Front Façade Zone: 20 feet deep.

Alley Set-Back: 5 feet for all structures at rear alley and side alley.

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## Veranda Cottage Lots

Veranda Cottage Lots are similar to other Cottage Lots, however they are located in the Southridge Community. Veranda Cottage Lots are typically 95 feet wide by over 200 feet deep. They may vary in size and shape from lot to lot depending on location.

**Main Body Width:** (a) 42 feet - if the Main Body is placed within the Front Façade Zone or (b) 48 feet - if the Main Body is located behind the back line of the Front Façade Zone.

**Front Yard Set-back:** 25 feet except where noted by specific neighborhood guidelines within Community Pattern Section.

**Front Façade Zone:** 20 feet deep.

**Side Yard Set-Back:** 7½ feet.

**Side Street Set-Back:** Not Applicable, except for Lots noted by specific neighborhood guidelines within the Community Pattern Section.

**Side Street Façade Zone:** Not Applicable, except for Lots noted by specific neighborhood guidelines within the Community Pattern Section.

**Alley Set-Back:** Not applicable.

**Alley Yard Façade Zone:** Not applicable.

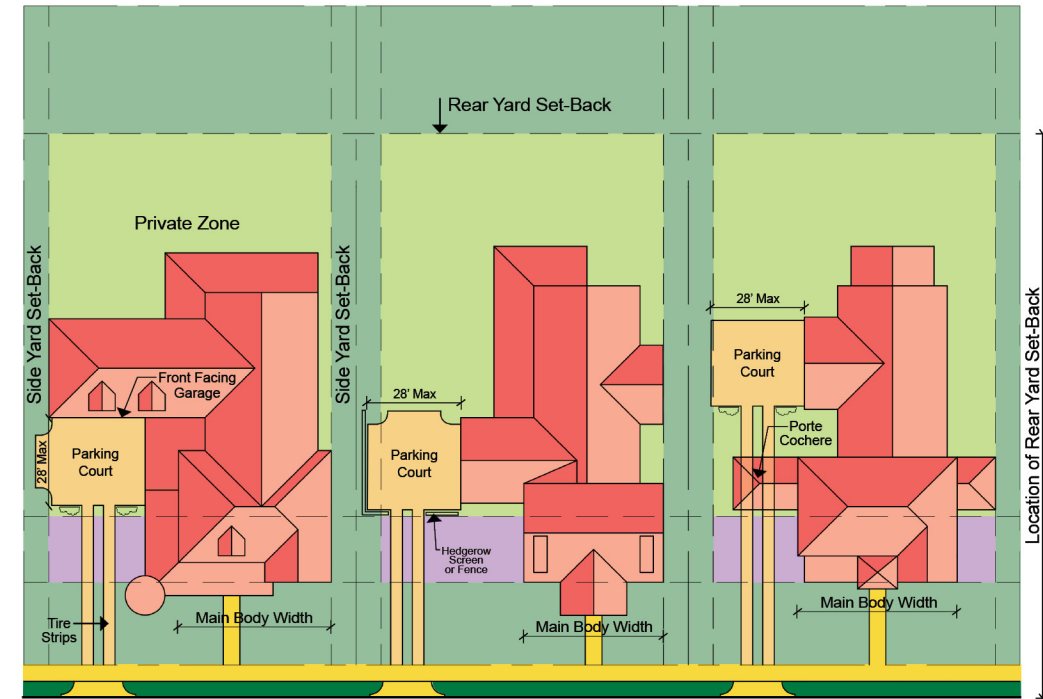
**Rear Yard Set-Back:** Varies based on each individual lot and shall be measured from the front property line. See maximum setbacks for each lot noted in the specific neighborhood guidelines within community pattern section.

**Side Wings:** 1 or 1 ½ stories within the Front Façade Zone. Side Wings should be set back from the Front Façade of the Main Body by a distance equal to, or greater than, the width of the Side Wing.

**Garages:** Shall be placed a minimum of 15 feet from the front face of the Main Body. Garage Doors shall be oriented parallel or perpendicular to the street. Front facing garages must be set behind Front Façade Zone. Garage doors facing the street shall be screened from public view with a 3 feet tall hedge, fence or Porte Cochere. The screen shall be placed in the front of the parking court apron backout area.

All Veranda Cottage Lots shall have front Entry driveways. The driveway shall be no wider than 10 feet and shall have a decorative entry apron from the street. The driveway shall consist of Tire Strips to each parking court or backout area. Fill between Tire Strips shall be pervious (gravel, stepping stones with grass, or grass). All parking courts or backout areas shall be set back 10 feet from the front of the Main Body. The parking court backout area shall be no deeper than 28 feet from the face of the garage and shall not encroach more than 4 feet onto the side yard set-back. Adjacent parking courts must maintain 10 feet from the edge of adjacent parking court.

**Porches:** Must be open and May extend into the Front Yard a maximum of 10 feet. Side and Rear Porches may be screened.



## Parkview Estate Lots

Parkview Estate Lots are similar to other Estate Lots, however they are located in the Southridge Community. Parkview Estate Lots are typically over 100 feet wide by 200 feet deep. They may vary in size and shape from lot to lot depending on location.

**Main Body Width:** (a) 48 feet - if the Main Body is placed within the Front Façade Zone or (b) 55 feet - if the Main Body is located behind the back line of the Front Façade Zone.

**Front Yard Set-back:** 25 feet except where noted by specific neighborhood guidelines within Community Pattern Section.

**Front Façade Zone:** 20 feet deep.

**Side Yard Set-Back:** 7½ feet.

**Side Street Set-Back:** : Not Applicable, except for Lots noted by specific neighborhood guidelines within the Community Pattern Section.

**Side Street Façade Zone:** Not Applicable, except for Lots noted by specific neighborhood guidelines within the Community Pattern Section.

**Alley Set-Back:** Not applicable.

**Alley Yard Façade Zone:** Not applicable.

**Rear Yard Set-Back:** Varies based on each individual lot and shall be measured from the front property line. See maximum setbacks for each lot noted in the specific neighborhood guidelines within community pattern section.

**Side Wings:** 1 or 1 ½ stories within the Front Façade Zone. Side Wings should be set back from the Front Façade of the Main Body by a distance equal to, or greater than, the width of the Side Wing.

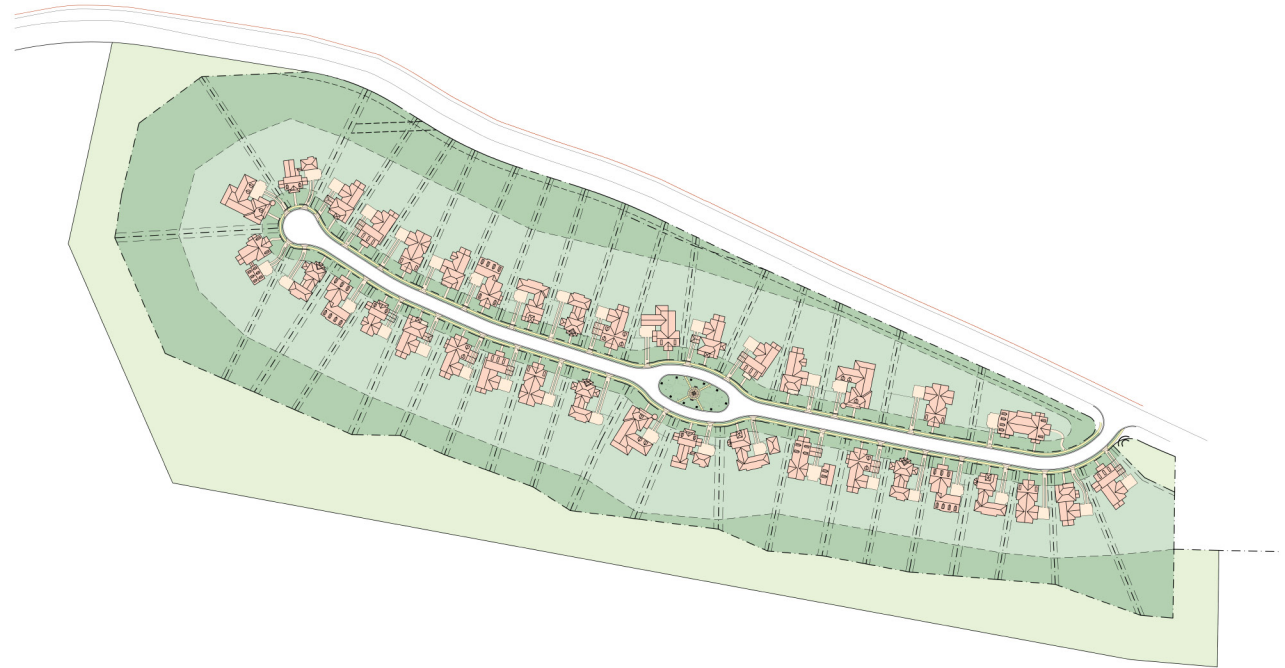
**Garages:** Shall be placed a minimum of 15 feet from the front face of the Main Body. Garage Doors shall be oriented parallel or perpendicular to the street. Garage doors facing the street shall be screened from public view with a 3 feet tall hedge, fence or Porte Cochere. The screen shall be placed in the front of the parking court apron backout area.

All Parkview Estate Lots shall have front Entry driveways. The driveway shall be no wider than 10 feet and shall have a decorative entry apron from the street. The driveway shall consist of Tire Strips to each parking court or backout area. Fill between Tire Strips shall be pervious (gravel, stepping stones with grass, or grass). All parking courts or backout areas shall be set back 10 feet from the front of the Main Body. The parking court backout area shall be no deeper than 28 feet from the face of the garage and shall not encroach more than 4 feet into the Sideyard setback. Adjacent Parking Courts must maintain 10 feet from edge of adjacent Parking Court.

**Porches:** Must be open and may extend into the Front Yard a maximum of 10 feet. Side and Rear Porches may be screened.



Plan of South Ridge



Partial Illustrative Plan

## South Ridge

Southridge is the newest addition to the Ledges Community (2020). This neighborhood sits along the narrow ridge off of Ledges Drive. The front facades shall be aligned tangent to the street and park. All houses within this neighborhood shall have a front entry driveway (with Tire Strips). Therefore, the only garage, parking court, and driveways shall be carefully designed to NOT be an emphasized element. All parking courts shall be screened with a porte cochere, semi solid fencing, or evergreen hedgerow at least 3 feet tall. Driveways should not be adjacent to one another, however if the home requires adjacent driveways, the newest home shall provide 10 feet minimum separation from the adjacent driveway.

There are two lot types within this neighborhood - Veranda Cottage Lots and Parkview Estate Lots (see General Lot Requirements).

There are several lots that will need special attention to maximize and enhance the community. Lot 1 may have porches on three elevations due to its prominence and view opportunities. Lots 6, 17, and 28 should have porches centered on the main house mass due to visual alignment with the park and street.

The front yard set-back for Lots 1-15 and 19-37 shall be 25 feet. The front yard set-back for Lots 16-18 shall be 30 feet.

The lot depth and rear yard set-back line shall be located from the front property line, in most locations.

Lots 1 and 2 shall have a 25 foot rear yard set-back from Ledges Drive.

Lots 3 & 4, 8-14, and 21-37 shall have a 180 foot rear yard set-back from the front property line.

Lots 5-7 shall have a 160 foot rear yard set-back from the front property line.

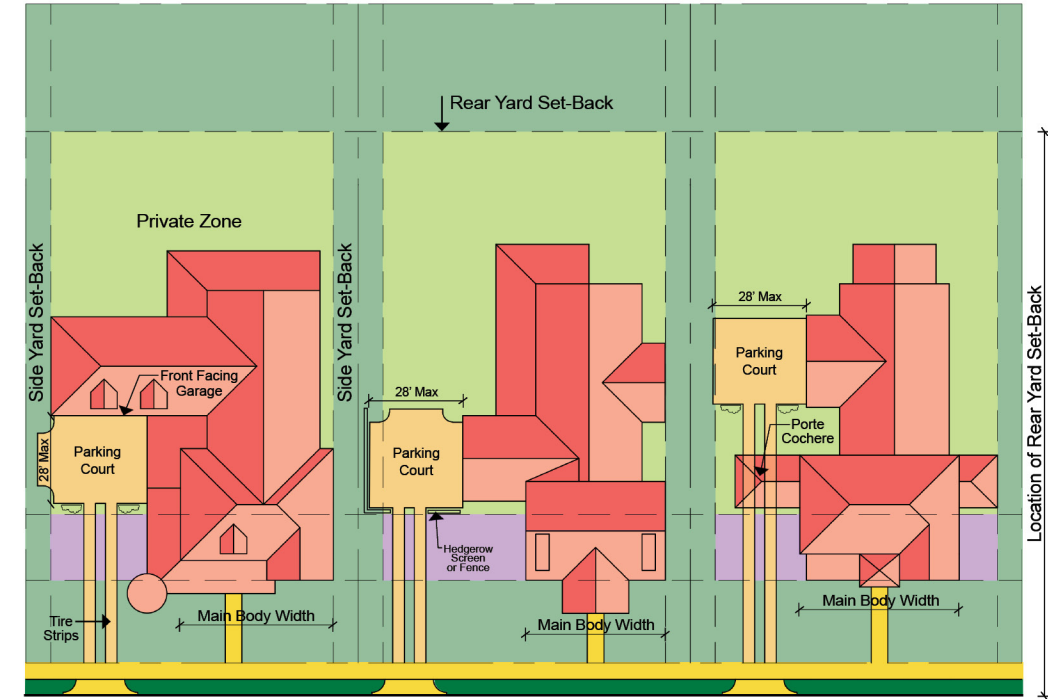
Lots 15-20 shall have a 200 foot rear yard set-back from the front property line.

The rear yard setback distances are maximum for the pattern book. Because this community falls within the City of Huntsville Slope Development Zone, each lot will have specific density requirements (maximum impervious cover, maximum total building area, and maximum disturbed area) that supersede those listed in this pattern book.

Due to Utility and Drainage Easements, the side yard setback between lots 17&18, 19&20, 21&22, 24&25, 26&27, 28&29, 30&31, 33&34, is 10' from the property line.

Any additional detached structures shall not be built more than 20 feet from the rear facade of the main house.





## Parkview Estate Lots

Parkview Estate Lots are similar to other Estate Lots, however they are located in the Southridge Community. Parkview Estate Lots are typically over 100 feet wide by 200 feet deep. They may vary in size and shape from lot to lot depending on location.

**Main Body Width:** (a) 48 feet - if the Main Body is placed within the Front Façade Zone or (b) 55 feet - if the Main Body is located behind the back line of the Front Façade Zone.

**Front Yard Set-back:** 25 feet except where noted by specific neighborhood guidelines within Community Pattern Section.

**Front Façade Zone:** 20 feet deep.

**Side Yard Set-Back:** 7½ feet.

**Side Street Set-Back:** : Not Applicable, except for Lots noted by specific neighborhood guidelines within the Community Pattern Section.

**Side Street Façade Zone:** Not Applicable, except for Lots noted by specific neighborhood guidelines within the Community Pattern Section.

**Alley Set-Back:** Not applicable.

**Alley Yard Façade Zone:** Not applicable.

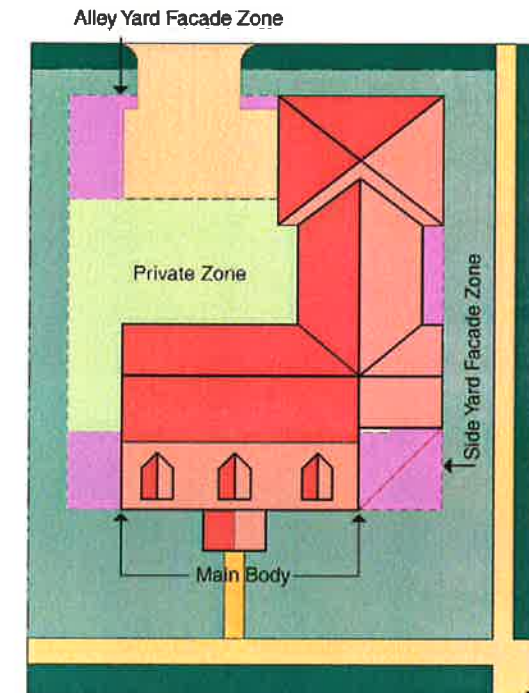
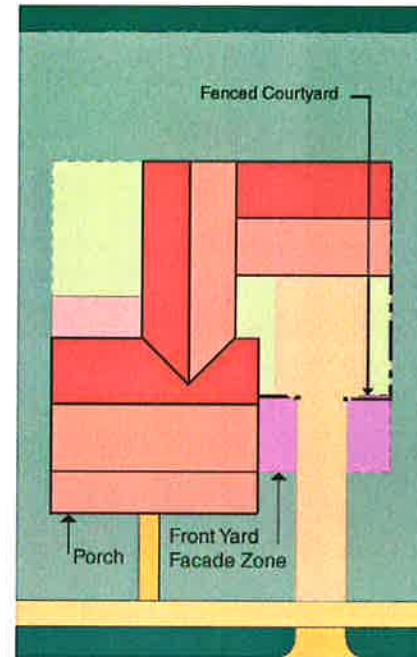
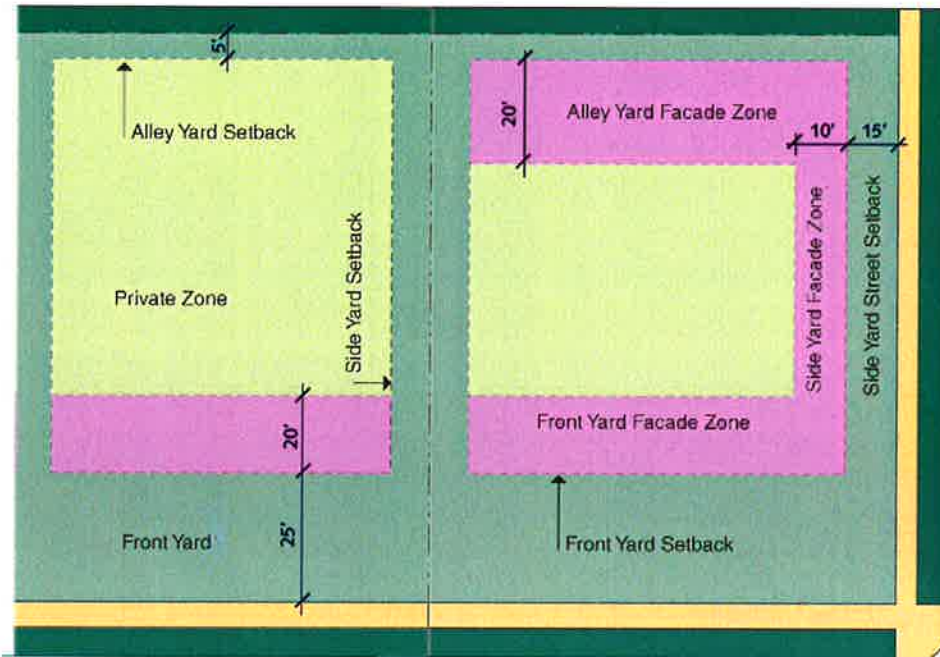
**Rear Yard Set-Back:** Varies based on each individual lot and shall be measured from the front property line. See maximum setbacks for each lot noted in the specific neighborhood guidelines within community pattern section.

**Side Wings:** 1 or 1 ½ stories within the Front Façade Zone. Side Wings should be set back from the Front Façade of the Main Body by a distance equal to, or greater than, the width of the Side Wing.

**Garages:** Shall be placed a minimum of 15 feet from the front face of the Main Body. Garage Doors shall be oriented parallel or perpendicular to the street. Garage doors facing the street shall be screened from public view with a 3 feet tall hedge, fence or Porte Cochere. The screen shall be placed in the front of the parking court apron backout area.

All Parkview Estate Lots shall have front Entry driveways. The driveway shall be no wider than 10 feet and shall have a decorative entry apron from the street. The driveway shall consist of Tire Strips to each parking court or backout area. Fill between Tire Strips shall be pervious (gravel, stepping stones with grass, or grass). All parking courts or backout areas shall be set back 10 feet from the front of the Main Body. The parking court backout area shall be no deeper than 28 feet from the face of the garage and shall not encroach more than 4 feet into the Sideyard setback. Adjacent Parking Courts must maintain 10 feet from edge of adjacent Parking Court.

**Porches:** Must be open and may extend into the Front Yard a maximum of 10 feet. Side and Rear Porches may be screened.



## Villa Lots

Villa Lots are typically 80–90 feet wide by 100 to 120 feet deep. They may vary in size from lot to lot depending on location. Villa Golf Lots share a common property line with the golf course.

**Main Body Width:** (a) 40 feet - if the Main Body is placed within the Front Facade Zone or (b) 50 feet - if the Main Body is located behind the back line of the Front Facade Zone.

**Front Yard Set-Back:** 25 feet except where noted by specific neighborhood guidelines within Community Patterns Section.

**Side Yard Set-Back:** 7½ feet.

**Side Street Set-Back:** 15 feet except where noted by specific neighborhood guidelines within Community Patterns Section.

**Side Street Façade Zone (Corner Lots):** 10 feet deep.

**Front Façade Zone:** 20 feet deep.

**Alley Yard Façade Zone:** 20 feet deep where indicated in Community Patterns for specific lots.

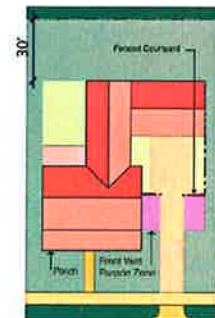
**Alley Set-Back:** 5 feet, or 15 feet for all structures at rear alley and side alley.

**Rear Yard Set-Back:** 10 feet except for lots adjoining the golf course, where set-back is 30 feet for any structure.

**Side Wings:** 1 or 1½ stories within the front façade zone. Side Wings should be set back from the Front Façade of the Main Body by a distance equal to, or greater than, the width of the Side Wing.

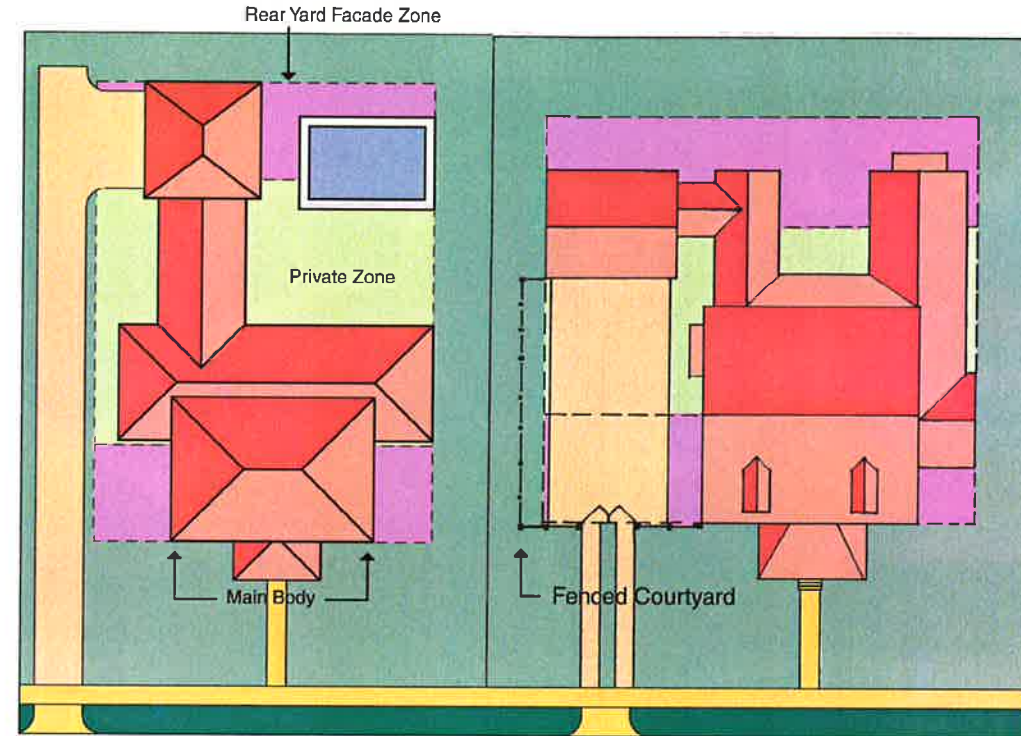
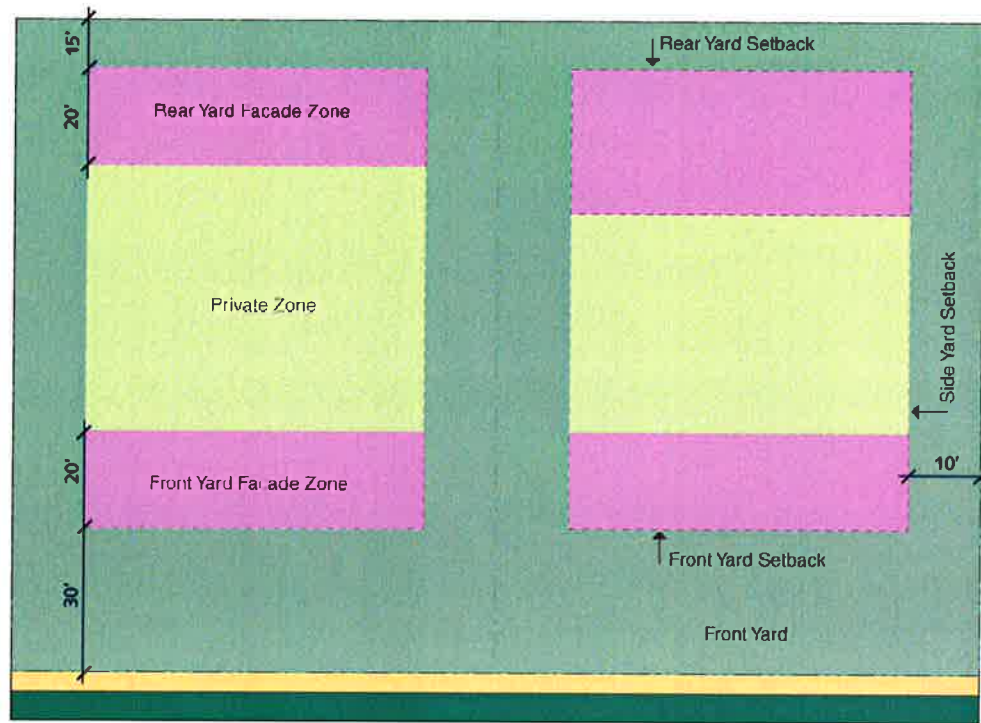
**Garages:** Shall be placed at either 5 feet from the Alley Set-Back Line or a minimum of 15 feet from the rear property line. Garages may be placed 5 feet from the side yard property line within an area 40 feet deep as measured from the rear property line. Garage doors may be oriented perpendicular to the alley. Garages for lots with driveways from the street shall be placed behind either the Front Façade Zone, if the driveway is in the front yard, or behind the Side Street Façade Zone, if the driveway is from the side street. Driveway widths from street or side street to the Main Body shall be 10 feet maximum. Front yard fencing shall screen any parking areas in front of the garage from public view.

**Porches:** May extend into the Front Yard a maximum of 10 feet or into the Side Street Yard a maximum of 7 feet.



Front Loaded Golf Lots

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## Estate Lots

Estate Lots are typically 100 feet wide by 100 to 120 feet deep. They may vary in size from lot to lot depending on location. Estate Golf Lots share a common property line with the golf course.

**Main Body Width:** (a) 48 feet - if the Main Body is placed within the Front Façade Zone or (b) 55 feet - if the Main Body is located behind the back line of the Front Façade Zone.

**Front Yard Set-Back:** 30 feet except where noted by specific neighborhood guidelines within Community Patterns Section.

**Front Façade Zone:** 20 feet deep.

**Side Yard Set-Back:** 10 feet.

**Side Street Set-Back:** 15 feet

**Alley Set-Back:** 5 feet, or 15 feet for all structures at rear alley and side alley.

**Rear Yard Façade Zone:** 20 feet deep where indicated in Community Patterns for specific lots.

**Rear Yard Set-Back:** 15 feet. The Setback for lots adjoining the golf course is 30 feet except where noted in the Community Patterns.

**Side Wings:** 1 or 1½ stories within the front façade zone. Side Wings should be set back from the Front Façade of the Main Body by a distance equal to, or greater than, the width of the Side Wing.

**Garages:** For lots with alleys, the garage shall be placed at either 5 feet from the Alley Set-Back Line or a minimum of 15 feet from the rear property line. Lots with driveway access from the street shall have garages placed behind the Front Façade Zone. Garage doors shall be no wider than 10 feet. The maximum width of a garage with doors facing the street is 24 feet. Garages for lots with driveways from the street shall be placed behind either the Front façade Zone, if the driveway is in the front yard, or behind the Side Street Façade Zone, if the driveway is from the side street. Garages shall be set-back at least 20 feet from the front façade of the Main Body. Driveway widths from street or side street to the Main Body shall be 10 feet maximum. Front yard fencing shall screen any parking areas in front of the garage from public view.

**Porches:** May extend into the Front Yard a maximum of 10 feet or into the Side Street Yard a maximum of 7 feet.

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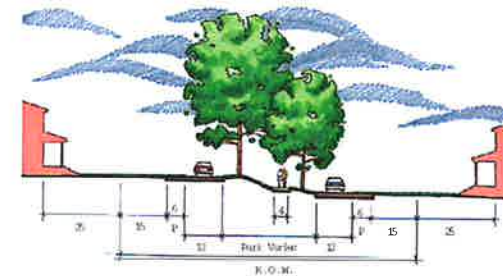
Crest Park



Crest Park Plan

## Crest Park

For Lots 32, 41, 73 and 79 the Front Yard Set-Back is 25 feet. The Side Street Set-Back for these lots is 20 feet. Two story houses are required for these lots. These houses shall have either full-face front porches or two-story height front porches. These lots shall have a decorative metal fence set two feet from the sidewalk for the frontage on Crest Park Drive and Ledges Main. Houses shall be placed on the lots to face the park. The front facades should be aligned tangent to the curve of the park drive and centered in the lot. For lots 21, 22, 30, 31, 42, 59, and 80 82, the Front Yard Set-Back is 25 feet. The Side Street Set-Back for lots 22 and 30 is 10 feet. Garages on these lots must be placed at the minimum set-back from the side yard line shared with the adjoining lot. Lots 21 and 31 will have a Rear Yard Set-Back of 5 feet.



Crest Park Drive Section

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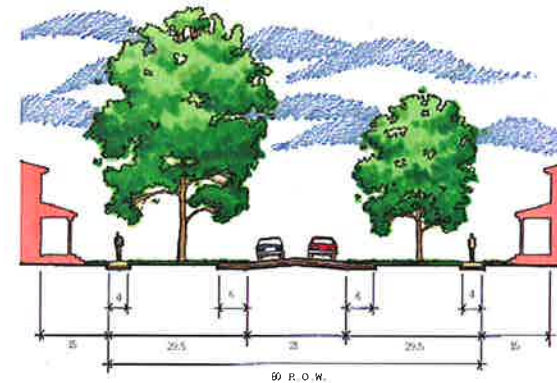
View down the Ledges Main looking towards the Clubhouse



The Ledges Main Plan

## The Ledges Main

Houses facing the Ledges Main shall have a Front Yard Set-Back of 15 feet except for lots 33, 34, 39, and 40 where the Front Yard Set-Back is 20 feet. Lots 69, 72, 33, 34, 39, 40 and 75, 78 shall have a 3 foot high white picket fence set one foot off the Ledges Main property line. Houses on lots 72 and 78 each shall have the Main Body parallel to the Ledges Main. It is recommended that these be two story gable front houses with two story, full-façade front porches.



The Ledges Main Street Section

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View along Castle Down Drive



Castle Down Drive Plan

### Castle Down Drive

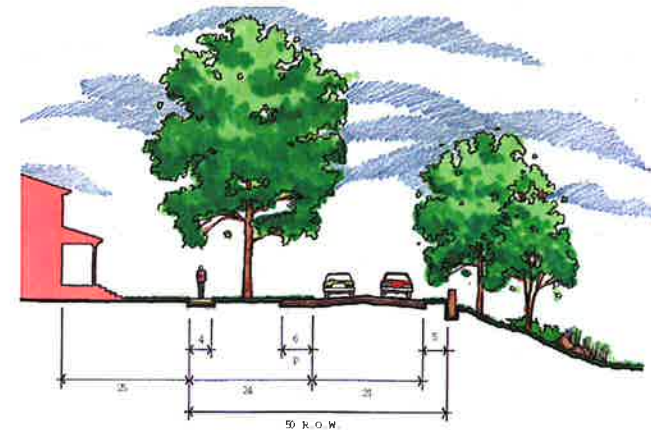
Houses fronting Castle Down Drive have a Front Façade Set-Back of 25 feet and the Front Façade Zone is 20 feet deep. Lot 63 shall have a house positioned with the Front Façade facing the corner at a diagonal. The Side Yards should have either fencing or built structure continuously to screen the private yard from the streets for this lot. Fences facing Castle Down Drive or Ledge View Drive shall be 3 foot high front yard fences.

Lots 65 shall have either fences or side wings in the side Street Façade Zone returning along the alley to screen the private yard from the street. Lots 62, 65, and 83 shall have either Side Wings or fences along the side alley. Lot 82 shall have either continuous building or front yard fence along the Side Street Property Line. Lot 85 shall have a Side Yard fence and / or Side Wing continuously along the golf course frontage.

*façade*

### Crest Park Alleys

All lots in Crest Park which have access from rear alleys shall have an evergreen hedge, not to exceed four (4) feet in height, twelve (12) inches inside the rear property line.

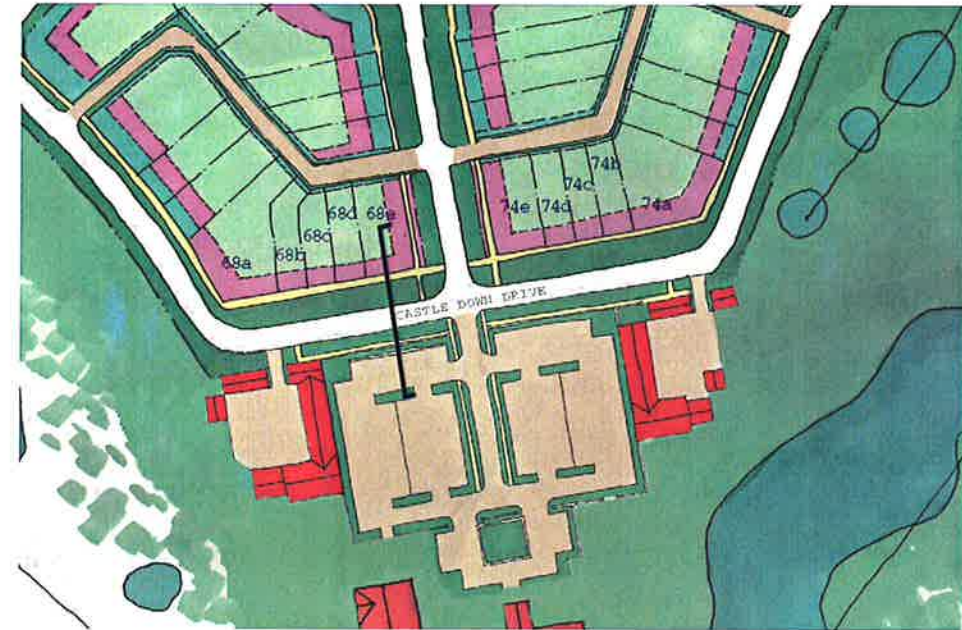


Castle Down Drive Section

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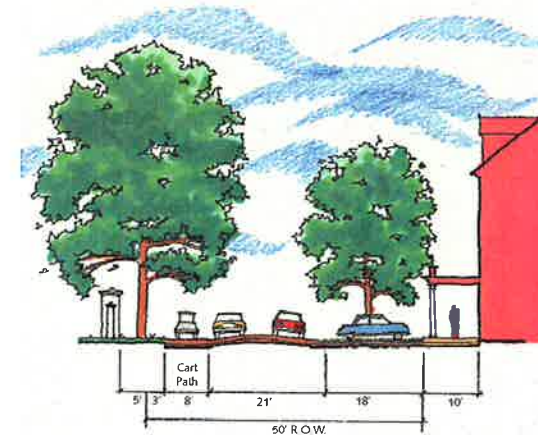
View Along Castle Down Drive



Castle Down Drive Plan

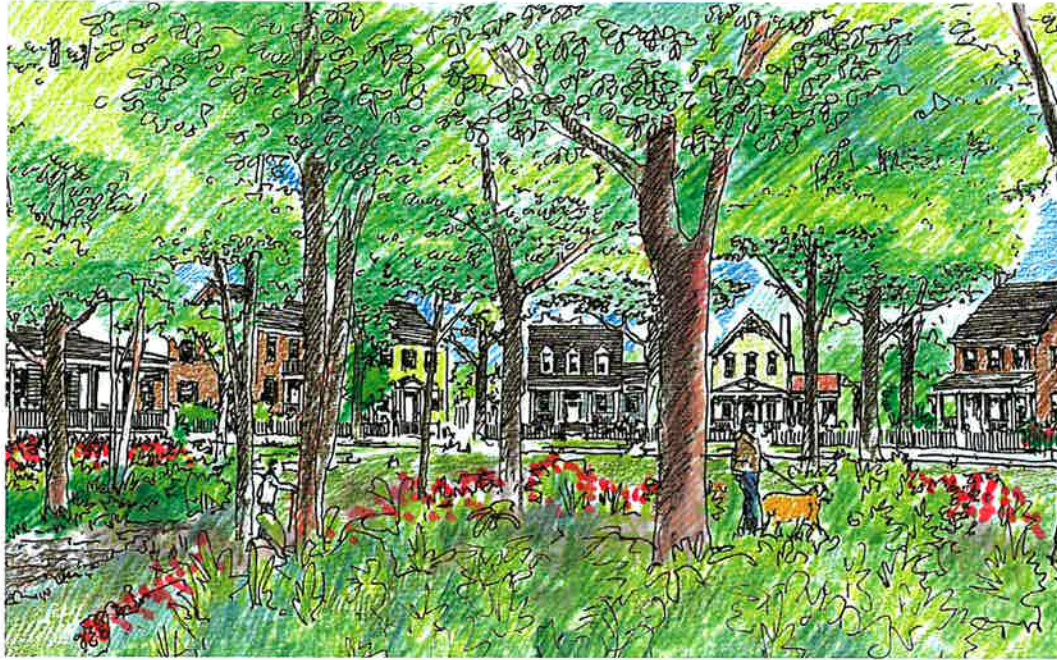
## Castle Down Drive

The Townhouses on Lots 68a-e and 74a-e, facing the clubhouse, shall have a Front Yard Set-Back which is a build-to line of ten feet. Buildings will be a mix of two and three stories, some with retail or office uses on the ground floor. The Front Yard should be a hardscape of brick paving with intermediate tree wells and landscaping. Parking areas off of the alley shall be screened from views along Castle Down Drive and The Ledges Main with three-foot-high Front Yard fences or walls.

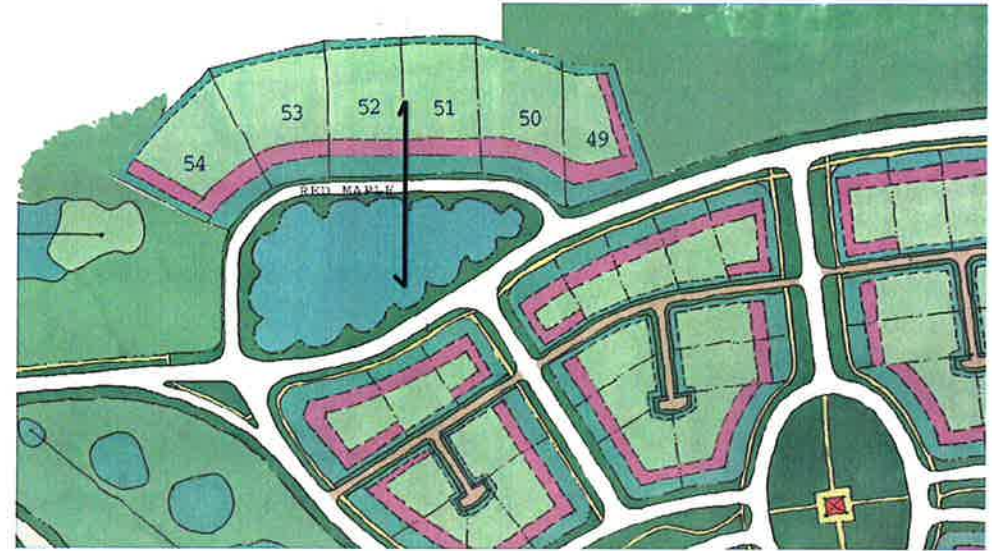


Castle Down Drive Section

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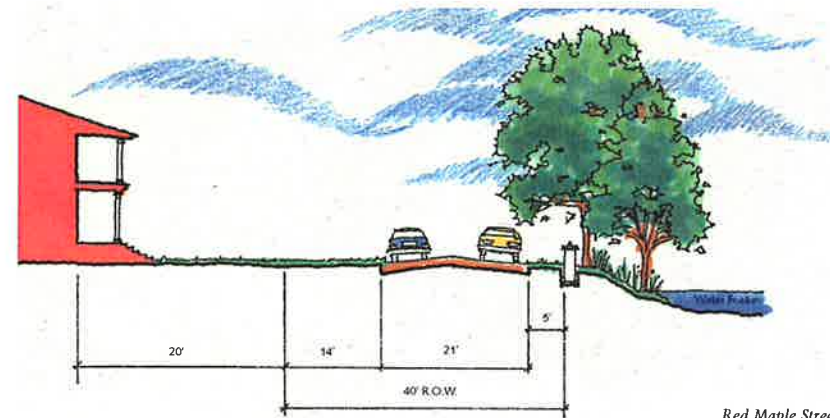
View of Red Maple



Red Maple Plan

## Red Maple

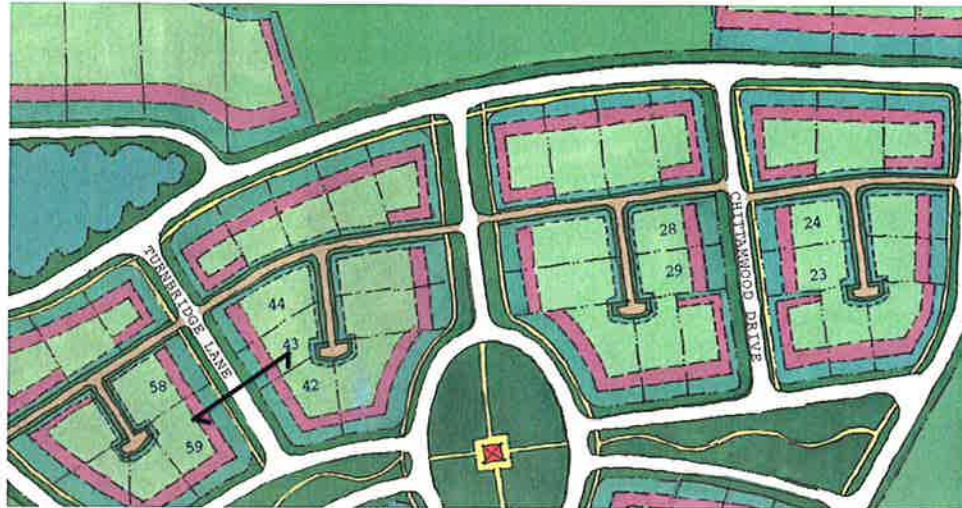
The Front Yard Set-Back for lot 49 is 30 feet and lots 50-54 is 20 feet. The Rear Yard Set-Back is 15 feet. Houses on these lots shall be two story with full-façade front porches. It is recommended that the porches be two stories in height. Lots 49 and 54 shall have continuous fence, hedge, wall or Side Wing along the side property line facing the golf course.



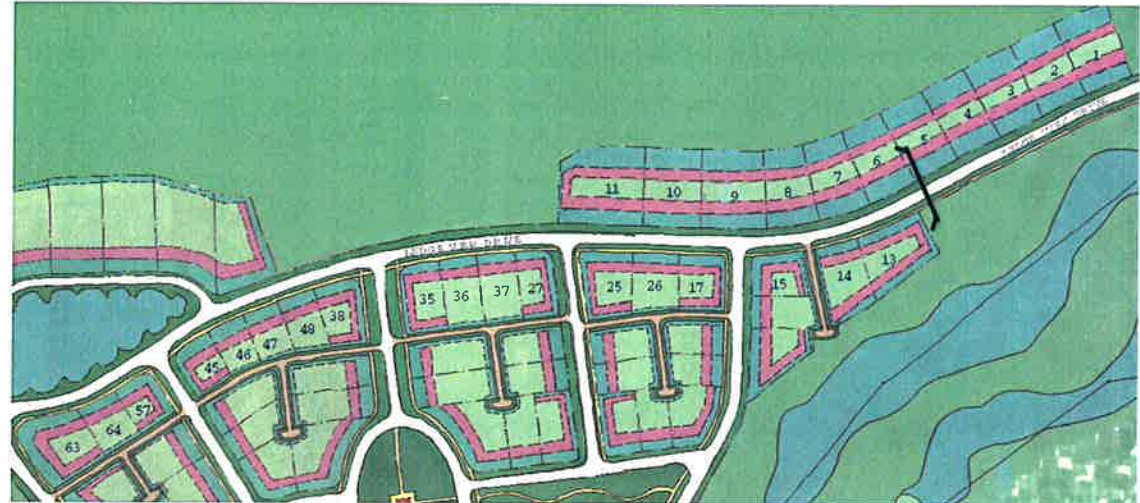
Red Maple Street Section

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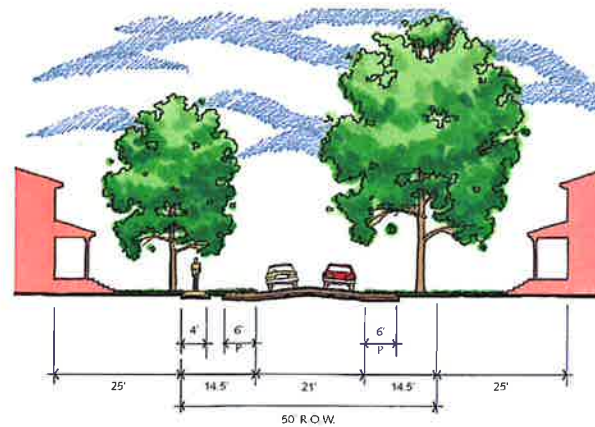
Plan of Turnbridge Lane & Chittamwood Drive



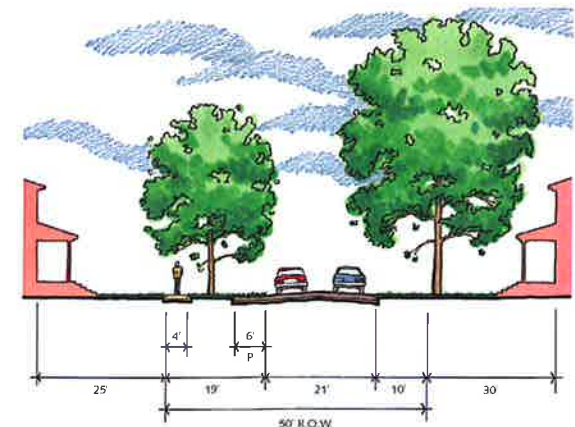
Ledge View Drive Plan

## Turnbridge Lane, Chittamwood Drive and Ledge View Drive

Lots 13-15, 17, 25-27, 35-38, 45-48, 57, 63 and 64 on Ledge View Drive shall have a Front Façade Set-Back 25 feet from the front property line. Lots 1-11 shall have a Front Façade Set-Back Line 30 feet from the front property line. Lots 13 and 14 shall have a Rear Yard Set-Back of five (5) feet from rear property line and shall place privacy fencing within the Rear Yard Facade Zone. Lots 23, 24, 28 and 29 on Chittamwood and lots 42-44 on Turnbridge Lane shall have a Front Façade Setback 20 feet from the Front Property Line. The Side Street Set-Back for Lot 42 is 20 feet. Corner lots 17, 25, 27, 35, 38, 45 and 57 shall have a Side Street Set-Back line 15 feet from the property line. These lots shall have garages placed with doors perpendicular to the alley facing away from the side street, or the doors may face the alley if the garage is placed adjacent to the property line with the adjacent lot. Houses on those lots shall have a minimum of 50 percent of the frontage on the side street, enclosed with a fence.

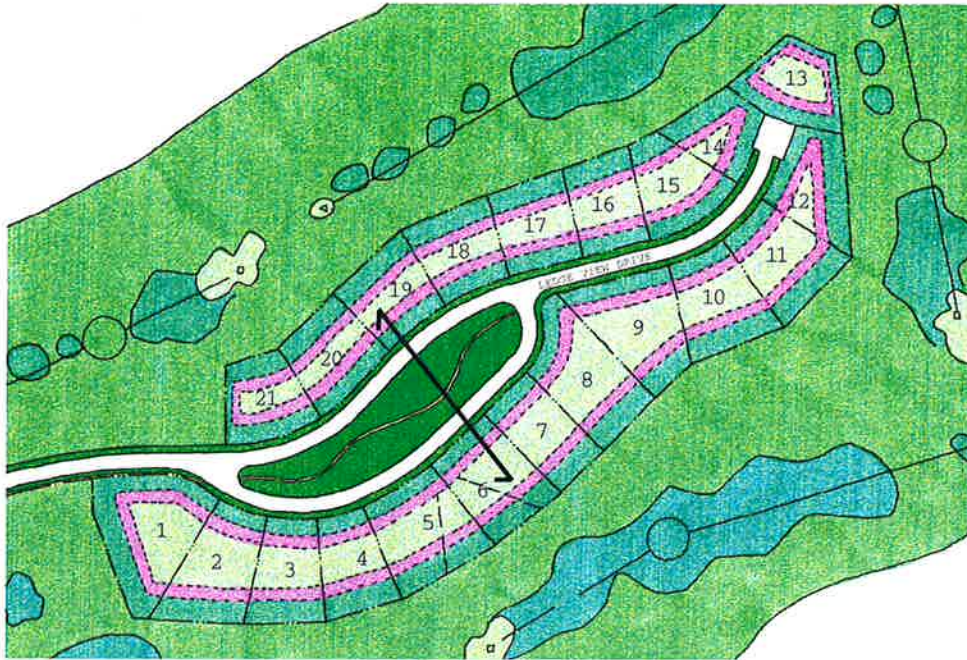


Turnbridge Lane & Chittamwood Drive Street Section



Ledge View Drive Street Section

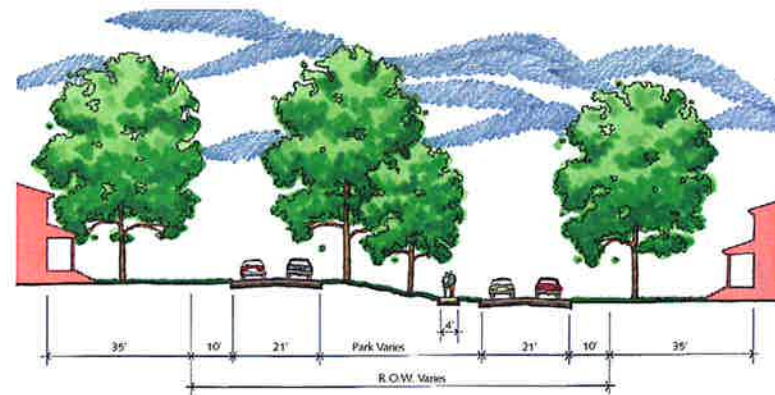
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Plan of Cumberland Estates

## Cumberland Estates

Estate Lots 1-21 shall have Front Yard Set-Backs of 35 feet. Houses on all lots adjacent to the golf course shall have all elevations composed within the guidelines for the appropriate architectural style. Porches instead of decks are required on areas of the house visible from the golf course. For lots 12, 13 and 14 the Rear Yard Set-Back line is 10 feet, continuous privacy fencing is required within this zone. See Ledges Landscape Patterns for appropriate fencing types along the golf course.



Street Section in Cumberland Estates

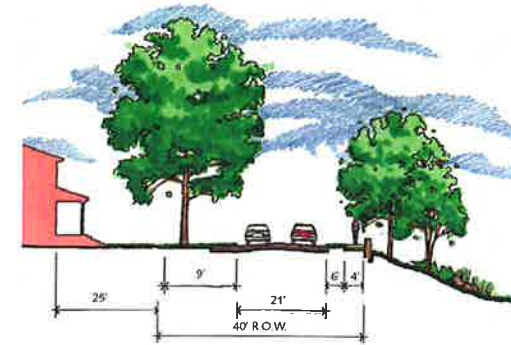
© 2000 Urban Design Associates



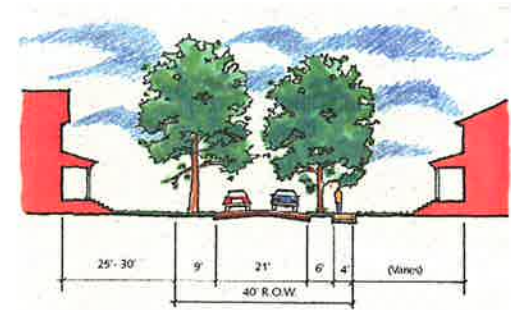
Perspective of Royal Troon Park



Plan of Twickenham Village



Ledge View Drive Street Section: Bluff



Ledge View Drive Street Section: Face to Face

## Twickenham Village

Twickenham Village will have a distinct character within the Ledges. It is designed as if it were a small hamlet just outside the main village. Houses on Royal Troon Drive face a village green, designed as a passive play space under the shade of mature trees. Houses in Twickenham Village should be somewhat less formal than the other neighborhoods. The mix should predominately Colonial Revival and Victorian houses (70%) with spice elements of Italianate and Classical. These houses should be primarily frame with wood siding. Unpainted brick houses may not be on adjacent lots and are limited to 20 percent of the lots (6) between Lots 17 and 49.

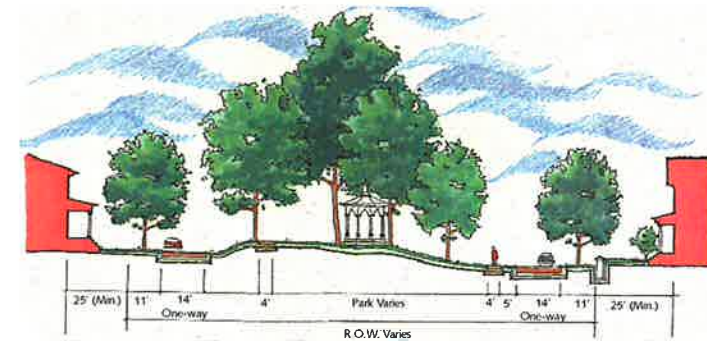
The Front Facade Set-Back for Lots 27-31 and 34-38 is 25 feet. Lots 26, 32, 33, and 39 have a Front Facade build-to line of 15 feet and a Side Street Set-Back of 25 feet. Lots 17, 32, 33, 39, and 49 shall be clad with siding and have side porches facing the

Side Street, and should have fences and side wings built continuously along the Side Street Facade Zone to the alley. Side Elevations should be composed as if they were front elevations.

Houses on Lots 26 through 39 shall have full-facade front porches.

Lots 18-25, 40-49 have a minimum Front Facade Set-Back of 30 feet. Lot 17 has a Front Facade Set-Back of 40 feet. Lots 9-11, 12A-16 have a minimum Front Facade Set-Backs of 30 feet and are encouraged to set houses deep on the lots. Lot 12 has a Front Facade Set-Back of 20 feet.

Lots 1-6 have a minimum Front Facade Set-Back of 15 feet.

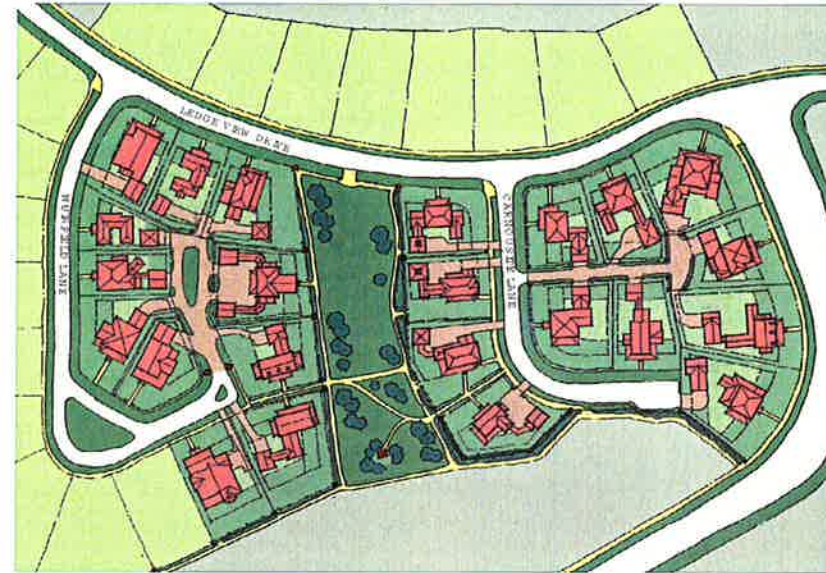


Royal Troon Drive Street Section

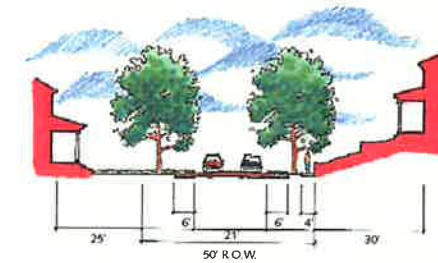
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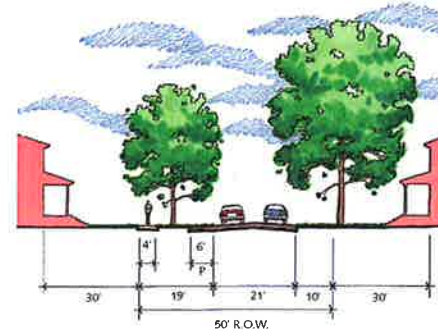
Plan of the Highlands



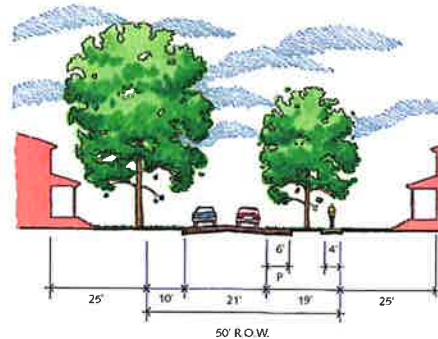
Partial Illustrative Plan



Ledge View Drive Street Section



Ledge View Drive Street Section



Muirfield and Carnoustie Street Section

## The Highlands

The Front Façade Set-Back for lots 1-4, 7, 8, 11-20, 36-38 and 40 is 30 feet. The Front Yard Set-Back for lots 5, 6, 9, 10, 21-25, 28-35, 39 and 41 is 25 feet. Lots 11-18 shall have a minimum Rear Yard Set-Back of five (5) feet. Lots 11 and 18 shall have either fences or side wings built continuously along the three property lines exposed to public view including rear yards and alley yards. Lots 26 and 27 Front Yard Set-Back shall be 35 feet. Lot 19 shall have either a wrap around porch on the golf course frontage or a two story, full façade front porch.

Lots 1-3 and 5-8 shall erect fencing or an evergreen hedge in the Rear Yard fronting the alley off of Carnoustie Lane. These lots shall have 100% frontage, twelve (12) inches inside the rear property line, either accomplished with evergreen hedge not to exceed three (3) feet in height or with fencing in line with a built structure at the 5 foot Rear Yard Setback. All fencing should be public in nature in accordance with Front Yard Fencing in the Landscape Guidelines. Gates across entry drives off the alley are permitted if Garages are placed at the 15' Rear Yard Setback.

Lots 32-35, 37-39 shall also erect fencing facing the alley off of Muirfield Lane. These lots shall have 100% frontage along the rear property line, either accomplished with fencing or with built structure at the Rear Yard Setback. Fencing should be public in nature in accordance with Front Yard Fencing in the Landscape Guidelines.

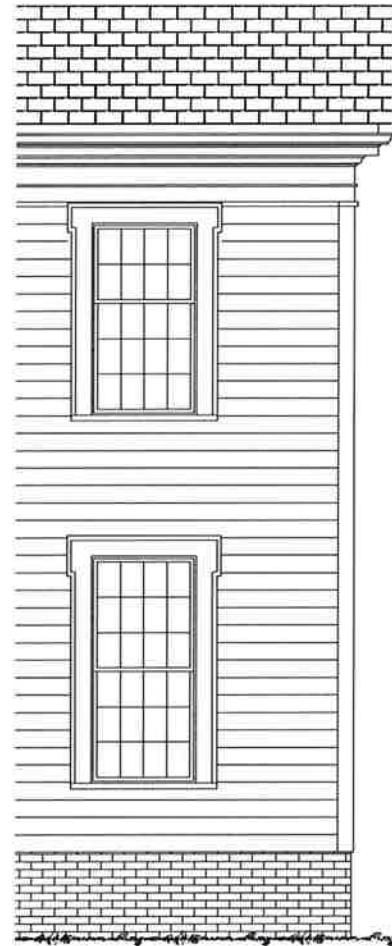
Lots facing Highland Park shall erect Front Yard Fencing, in accordance with a pre-selected palette, between stacked stone piers along the edge of the park. Lots 30 and 31 and Lots 9 and 10 shall face each other along the public walkways down to the park.

Lots in the Highlands that front Highland Park and the Golf Course will have composed elevations fronting public areas. Garages and Rear Wings fronting these areas should be composed as small outbuildings and pavilions to assist in creating an established sense of place.

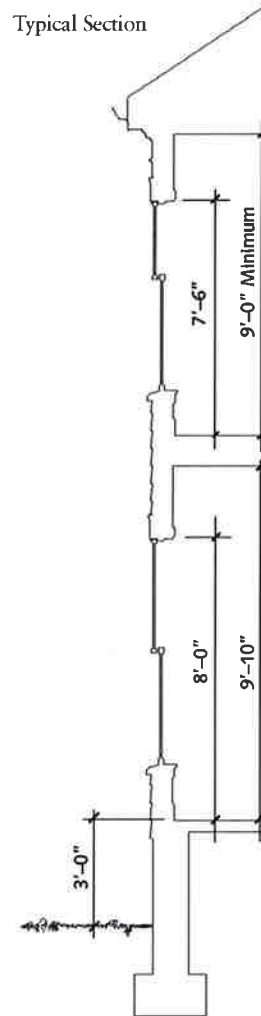


#### Essential Elements include:

- A. Simple, well proportioned volumes with consistent roof pitches.
- B. Well detailed classical eaves and cornices
- C. Multi pane windows that are either 6 over 6, 6 over 9, or 12 over 12. First floor windows are taller than second floor windows.
- D. One or two story porches, often with gabled 'temple front' façades.
- E. Classical columns and details on porches in the Tuscan, Doric, or Ionic orders.
- F. An orderly, relationship among windows, doors, porches, and roof forms.



Typical Section



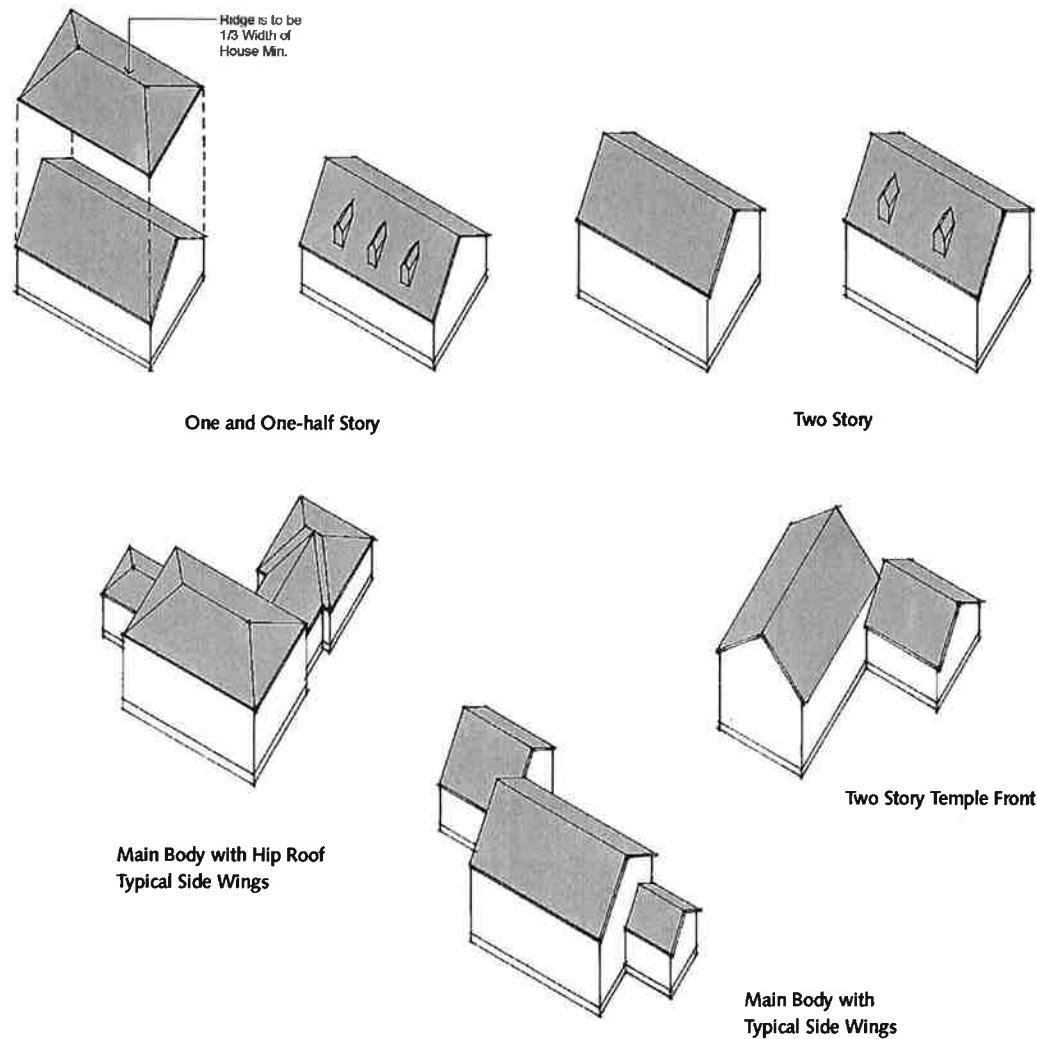
#### History and Character

The Huntsville region has a significant inventory of Classical houses designed in the Adam style as well as the Classical Revival and Greek Revival styles. The dominant Adam style was practiced by notable American architects such as William Jay, Benjamin Latrobe, Charles Bulfinch and others from 1780 - 1820's. The Adam brothers in England refined the style and also pioneered a revival in Italianate architecture also found in the region.

Much of this country's classically styled houses were constructed by builders using pattern books in the 19th century. Books such as Asher Benjamin's *American Builder's Companion* became a standard resource that enabled frontier builders to construct proportionally correct architectural cornices, windows, and doors. The Classical House in The Ledges will be built using many of these principles and compositional patterns.



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One and One-half Story

Two Story

Main Body with Hip Roof  
Typical Side Wings

Two Story Temple Front

Main Body with  
Typical Side Wings

### Basic Massing

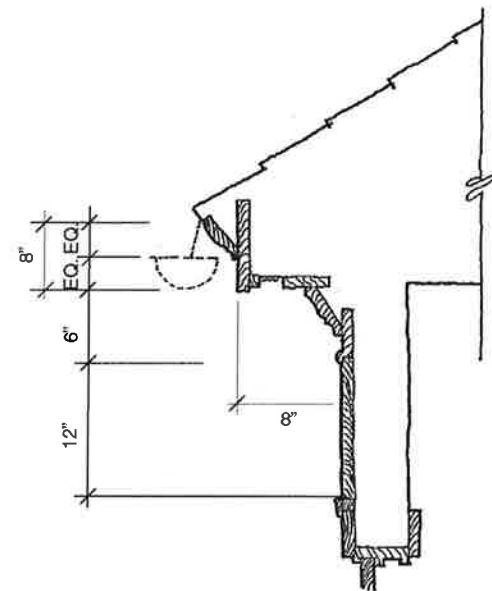
The basic Classical house is a simple, rectangular volume, either one or two stories. Typically the long façade is parallel to the street. The roof can be either gabled or hipped.

Another typical classical massing is one that has a 'temple' front facing the street. The porch is integral with the main body.

Narrow width side and rear wings with similar proportions are used to increase the volume. These wings have simple massing and remain a series of small, individual elements connected together. Typical roof pitches are 8-in-12 to 10-in-12 for gables or hips. Temple fronts can be 6-in-12 to 10-in-12.

The minimum floor to ceiling height for first floors is 10 feet and 9 feet for second floors. The first floor elevation is between 2 and 3 feet above finished grade.

Typical eave details are derived from traditional Greek and Roman orders and should include correctly proportioned elements. Cornices often have dentil moulding above the frieze. A basic eave detail is illustrated at right.

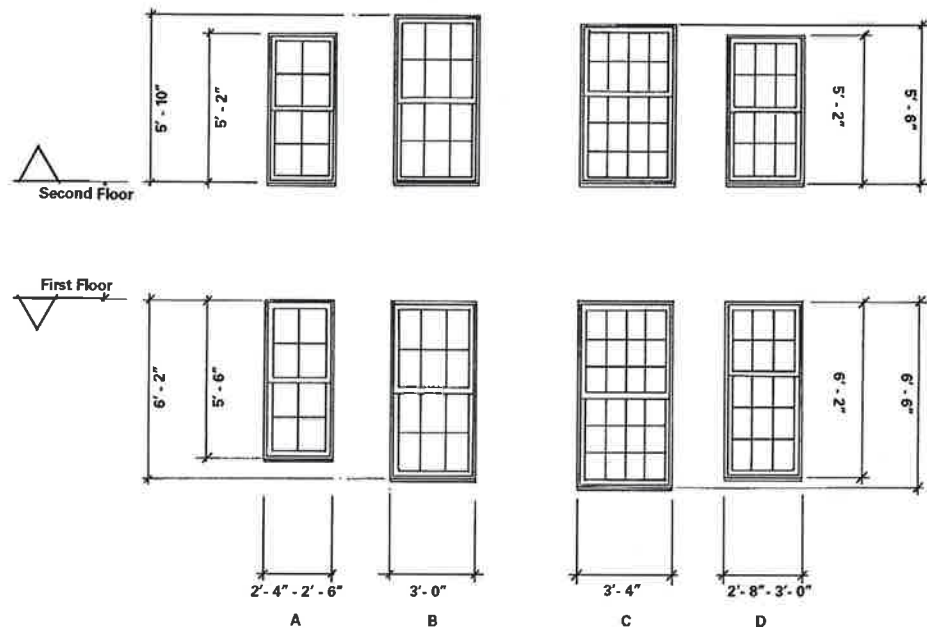


Typical Eave Detail

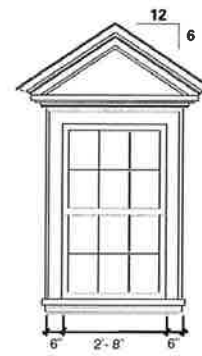


Door & Window Compositions

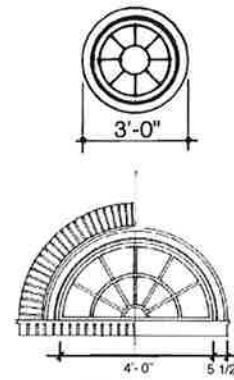
Massing Diagrams



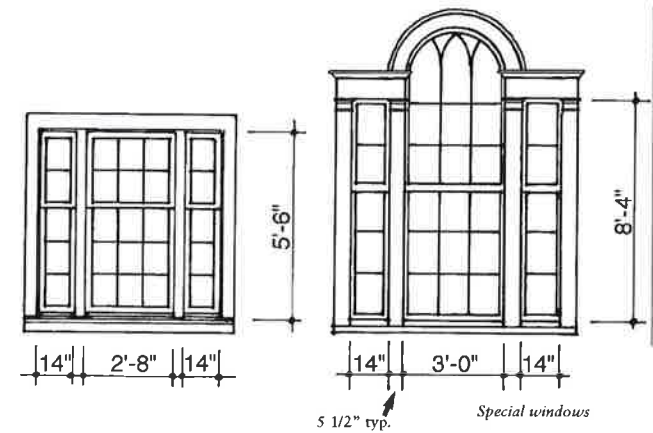
Standard windows and pane patterns



Typical Dormer Window



Gable accent windows



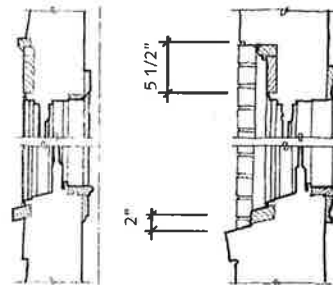
Special windows



Typical doors and door surrounds



Siding head and sill details



Brick head and sill details

### Standard Doors

Four, six, eight and nine panel doors should be used and set in door surrounds that have Greek Revival detailing. Sidelights and transoms are often ganged together with the door.

### Standard Windows

Windows are typically double-hung in 2, 3, or 4 light wide patterns. First and second floor windows are sized in such a way that divided lights have equal or similar proportion at each level. Typical configurations are illustrated above:

- A. 4 over 4 on both floors with sash width typically 2'-4" - 2'-6".
- B. 6 over 6 on both floors with sash width typically 3'-0".
- C. 12 over 12 on first floor and 8 over 12 on second floor.
- D. 6 over 9 on first floor and 6 over 6 on second floor.

Pane sizes and proportions should be consistent on different windows used throughout the house.

### Dormer Windows

Dormer windows are either 6 over 6 or 6 over 9 and can have

arched tops. Side walls do not extend beyond the width of the trim.

### Special Windows

The Palladian window with integral sidelights and the triple sash window are considered special window types. The arched Palladian center sash must be one continuous sash and is typically used over the entry door.

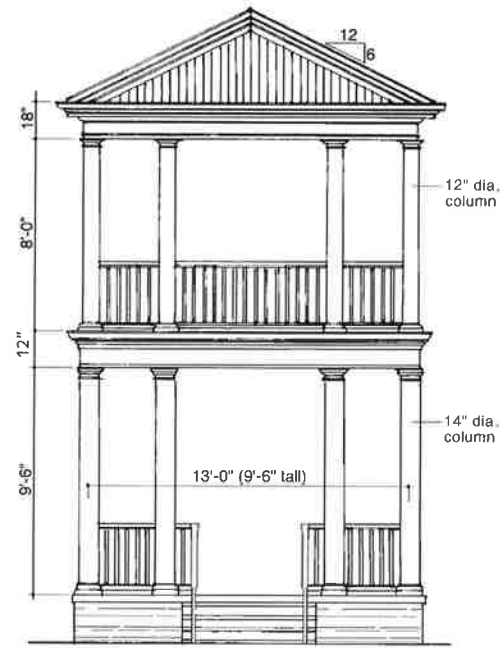
Small round accent windows are often used in gable ends and side wings. Accent windows should be detailed in a manner similar to Standard windows.

### Trim

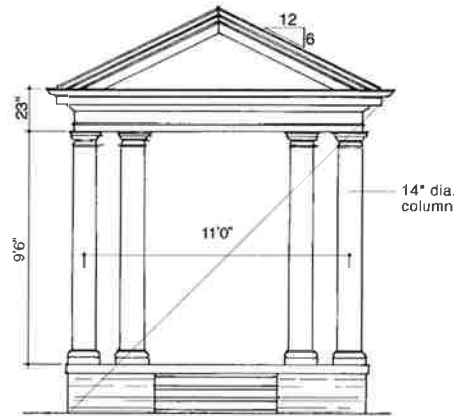
Window head trim can have a 7 inch dimension with a molded or pedimented cap. Typically double window trim is 5 inches wide with a 1 inch thick raised or shaped edge treatment.

Windows shall have sills as a component of the trim. The surrounds when used with brick, are set into the masonry opening. Stone or brick lintels may be used in addition.

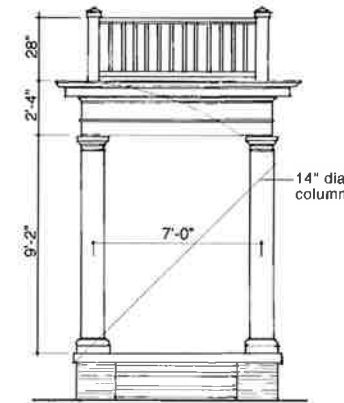
Louvered or 2 panel shutters, one-half the width of the sash, may be used on single windows.



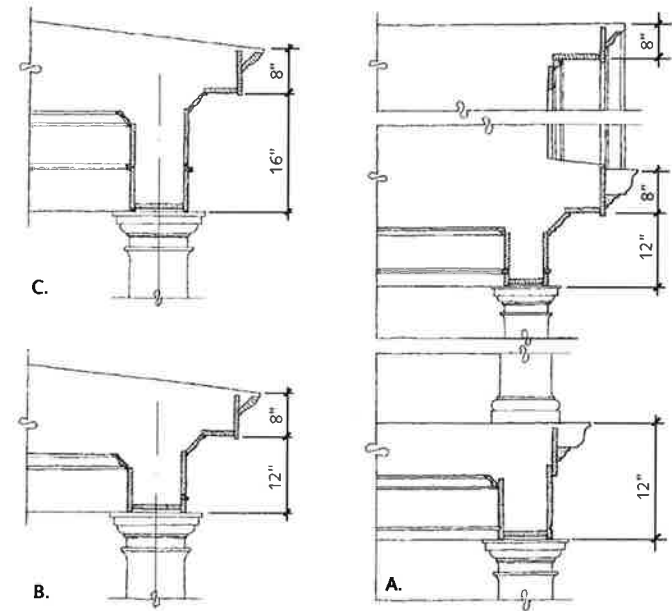
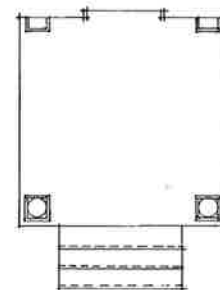
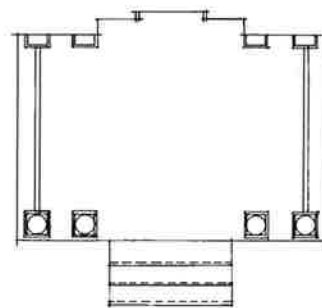
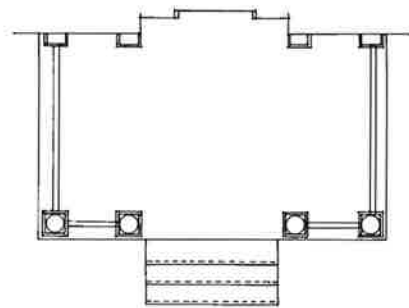
A. Two Story Temple Front



B. Twin Column Portico (square)



C. Single Column Portico (root 2 square)



### Porches

The porches are the most important architectural element for a classical house. Of particular importance is the proportion of the tuscan, doric, or ionic columns and the depth and detailing of the entablature above. Porch design must follow historic precedents and proportions. Porch bays are often based on classical proportions of squares, "root 2" squares, and golden rectangles. Porch columns are typically 10-14" round or square stock with architecturally correct entasis. Three porch types are illustrated here:

- A. Two story temple front porch with two floors.
- B. Twin column portico with either a gabled roof or a flat pediment with or without a balustrade.
- C. Single column portico with either a gabled end or flat roof.





### Materials

Shutters: Wood panel or louver, painted, operable with appropriate hardware.  
 Siding: Stucco, Wood, or Composition Board with Beveled, Shiplap or Beaded Lap profile.

Brick: Sand face standard or modular brick in Flemish, Common, or English bond patterns (to be selected from approved list). Mortar shall be buff color.

Roofing: Standing seam metal, 5-V metal, slate, asphalt or fiberglass shingles.

Windows: True divided light sash with sill. Simulated true divided light windows to be selected from approved list.

Trim: Wood and moulded millwork for built-up sections.

Soffits and porch ceilings: External GWB or T&G wood. Vinyl or aluminum are not permitted.

Gutters: Half round metal.

Downspouts: Round metal.

Foundations: Brick as noted above or stone in dry-stack pattern.

Columns: Wood, fiberglass or composite in true architectural grade.

Columns should have correct entasis/taper and authentic cap and base details. "House column" grade or aluminum columns are not acceptable.

Railings: Straight or turned wood or composite balusters, wrought iron or forged steel.

Chimneys: Common brick or stone.

Three Foot Fences: Smooth wood picket painted or prefinished metal.

Six Foot Fences: Painted wood or prefinished metal.

### Colors

Shutters: Black or dark green.

Siding: White or off-white. Other colors to be selected from approved list.

Brick: All brick to be selected from Ledges palette. Brick may be painted white, off-white, or other colors selected from approved list.

Roof Shingles: Roof shingles to be black or dark grey. Standing seam may be natural, black, dark green or dark red.

Windows: Sashes and frames to be white.

Trim: All windows, doors, corner and eave trim to be white or off-white.

Accent: White or a rich color to match trim.

Gutters: White or copper.

Downspouts: White or copper.

Fencing: Wood is to be white, metal is to be black or dark green.





Ledges Carpenter Gothic



Ledges Italianate

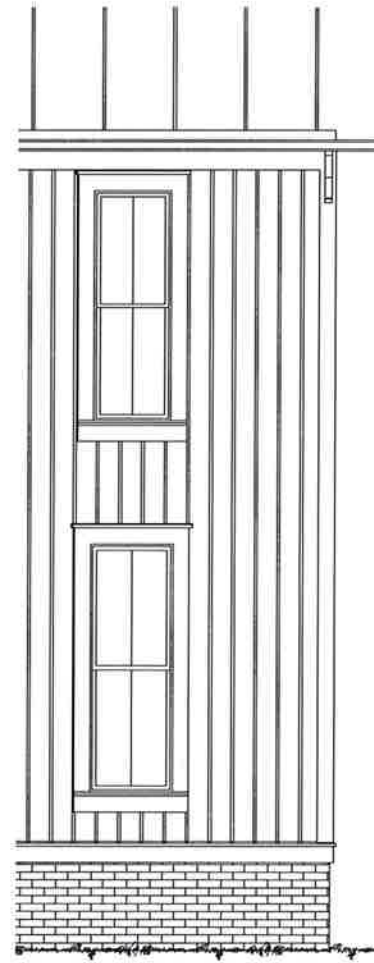
Essential Elements include:

**Carpenter Gothic:**

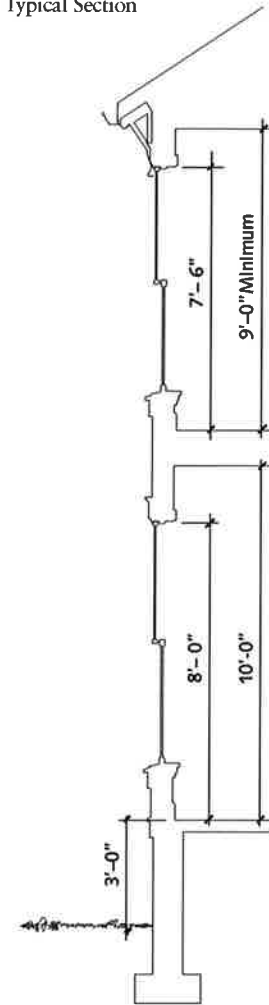
- A. Steeply pitched gable roofs.
- B. Cut wood ornament, often with natural forms such as leaves and vines.
- C. Wood clapboard or vertical board and batten siding.
- D. Vertical proportions for windows and doors.
- E. Informal, asymmetrical massing, with rambling, complex configurations of simple elements.

**Italianate:**

- A. Shallow pitch gable or hipped roofs.
- B. Deep, ornate cornice with brackets.
- C. Simple, rectilinear forms.
- D. Vertical proportions for windows and doors.
- E. Formal massing, often with towers and cupolas.



Typical Section



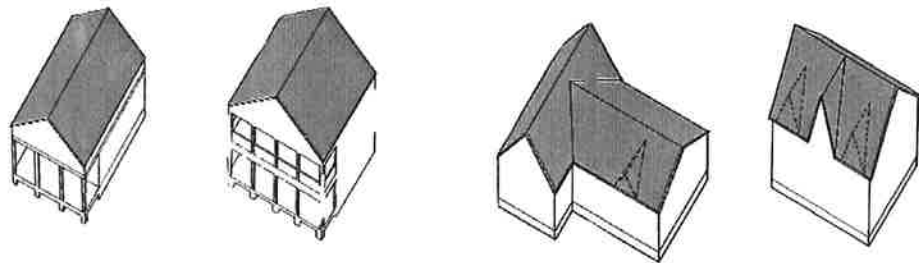
History and Character

The Ledges Romantic house is designed in the tradition of picturesque Carpenter Gothic and Italianate Revival styles which were popular in the last half of the nineteenth century. Pattern Books such as *Victorian Cottage Residences* by Andrew Jackson Downing became valuable resources for builders across the country.

Italianate houses became popular in America during the mid-nineteenth century and found precedent in traditional Italian villas and farm buildings. Twickenham in Huntsville is populated by several wonderful urban examples of Italianate houses.

Carpenter Gothic architecture was also popular during the same period and featured in many Downing Pattern Books. More rural in character, many Huntsville area towns and villages boast a rich variety of Carpenter Gothic cottages, most of which are painted white with white trim. The house forms are playful and 'decorated' with ornamental cut wood on porches and steeply pitched gable ends and dormers.

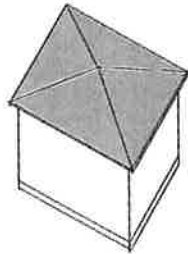




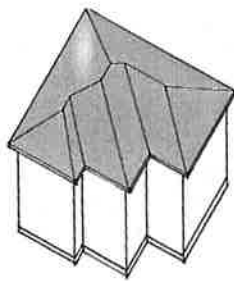
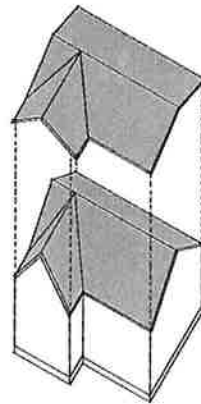
Two Story Temple Front

One and One-half Story

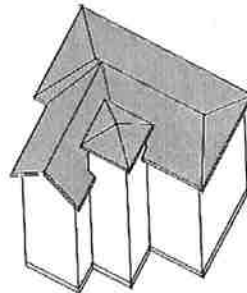
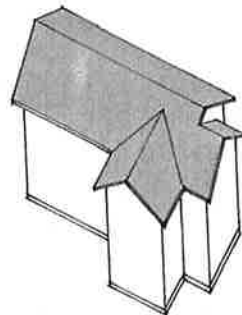
Carpenter Gothic



Two Story



Italianate



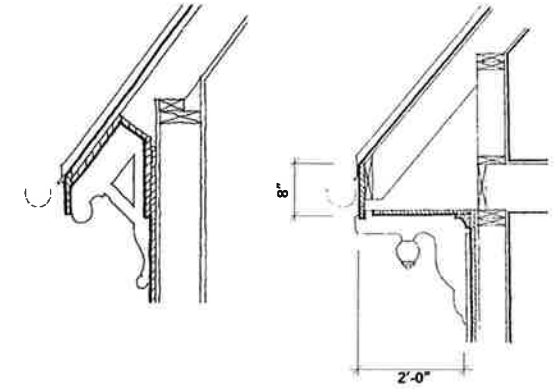
### Basic Massing

The basic massing is either a simple rectangular box with a porch added for character or an asymmetric volume with a narrow, gabled end volume perpendicular to the street. This style also has a 'temple front' massing with an integral front porch.

The main body of the Gothic cottage has a typical roof pitch between 6-in-12 and 8-in-12. Perpendicular wings are typically constructed as narrow-width structures with steep roof forms of 12-in-12 to 16-in-12 pitch. The steeper pitches are also typical for dormers.

The Main Body of the Italianate house is a simple box with symmetrical window and door placement. Roofs have a typical 4-in-12 pitch with deep eaves and ornate cornice detailing. Italianate houses may also have picturesque, asymmetrical massing with tower elements and cupolas.

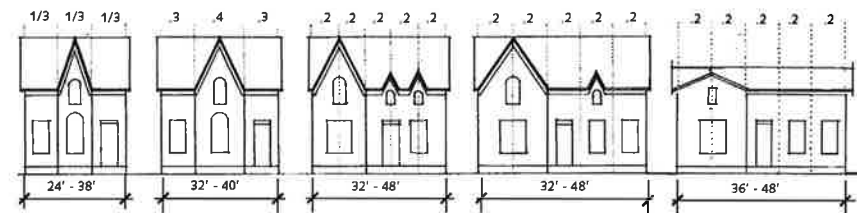
The minimum floor to ceiling height for both styles is 10 feet for first floors, and 9 feet for second floors. The first floor elevation is between 2 and 3 feet above finished grade.



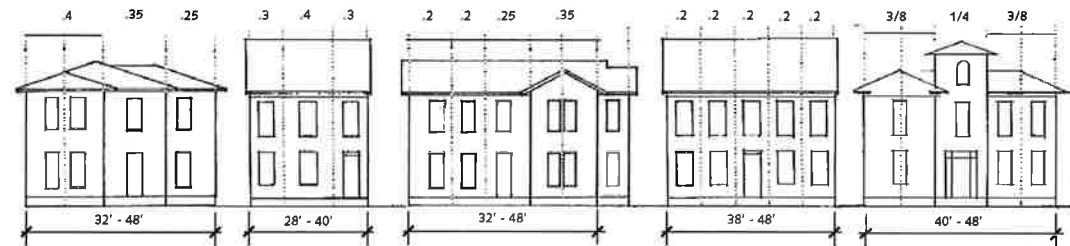
Carpenter Gothic

Italianate

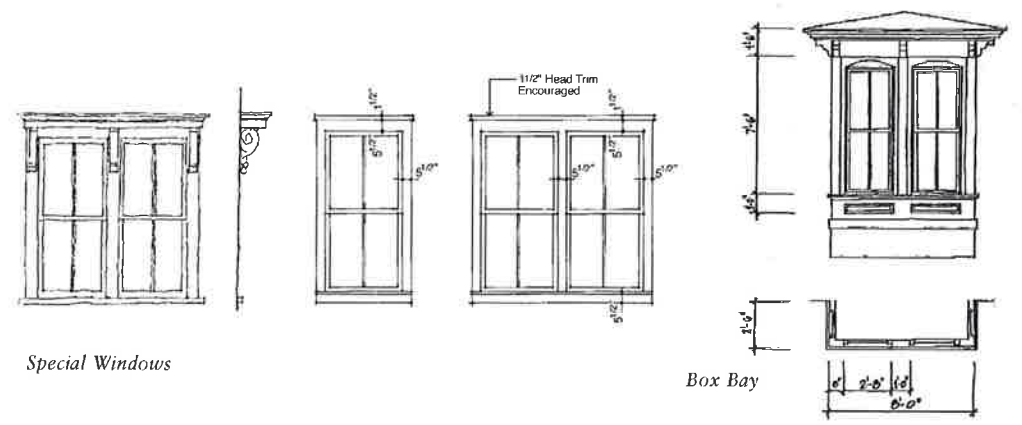
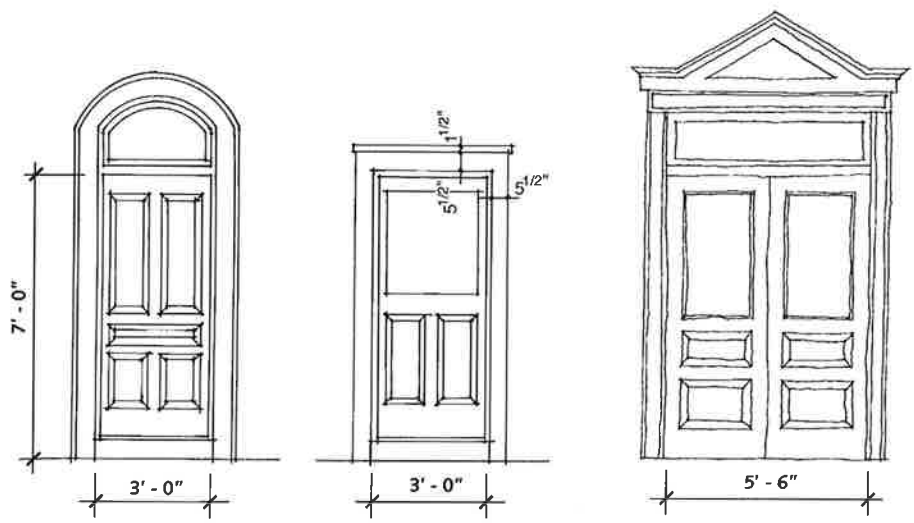
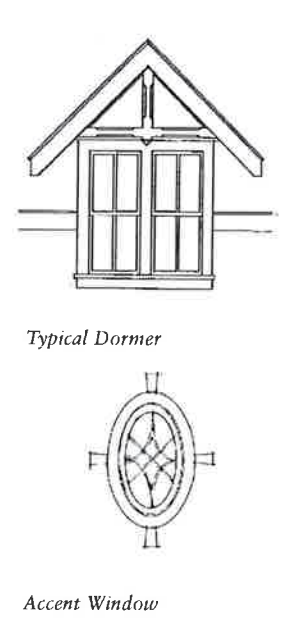
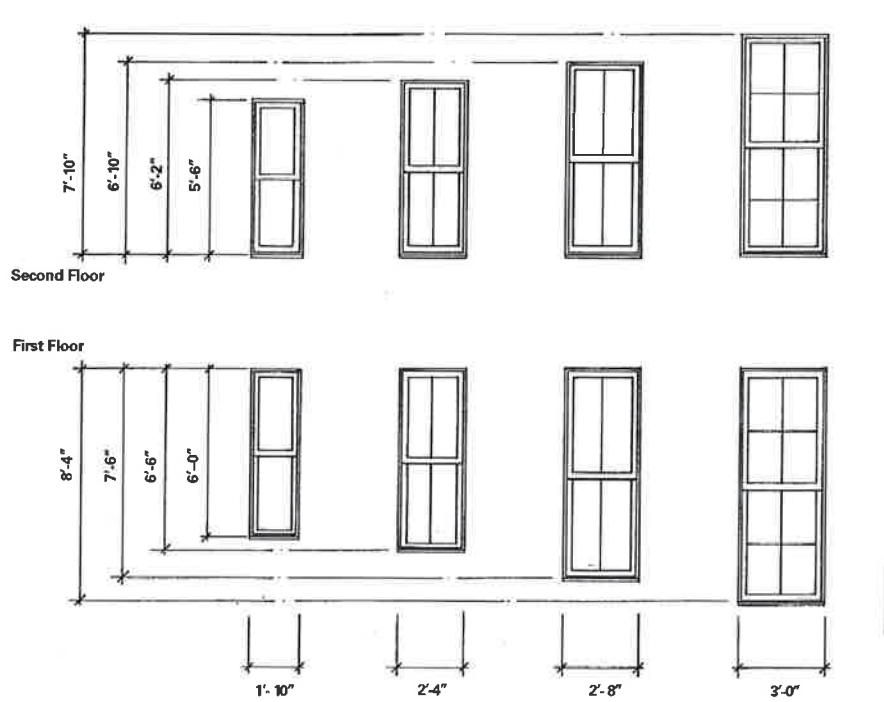
Typical Eave Details



Carpenter Gothic Main Body



Italianate Main Body



**Standard Doors**

Doors are centered in their bays and are either paneled or glazed wood doors. Double doors are often used as well as single doors with sidelights and transoms.

**Special Windows**

Special windows include box bay windows, paired dormer windows with transoms, and round top windows. Box bay windows have a continuous base to the ground. Stained glass accent windows are also common to the style.

**Standard Windows**

Windows are typically vertical in proportion with narrow widths from 1'-10" to 3'-0". Two basic window patterns are 1 over 1 and 2 over 2 double hung with wide trim. The window often has a decorative header. Italianate houses often have windows with rounded upper sashes and ornate trim.

**Trim**

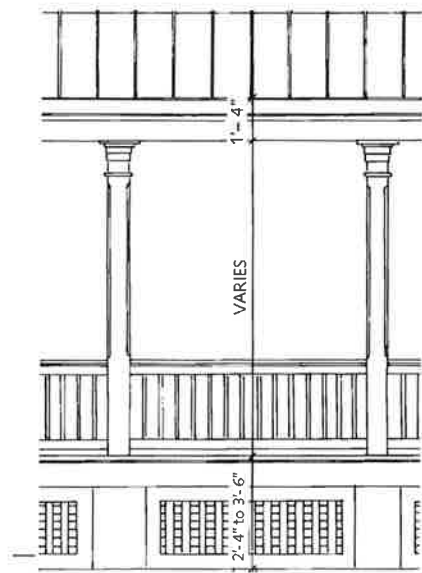
Windows and doors typically have 5-1/2" inch wide trim with an edge molding.

**Dormer Windows**

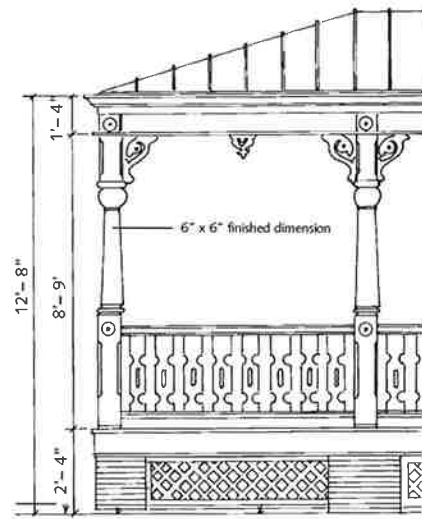
Dormers in the Romantic style share similar details with the eave: Carpenter Gothic dormers often have open-ended gable-ends with decorative vergeboards and latticework. Italianate dormers are less common but often include deep bracketed eaves.

**Shutters**

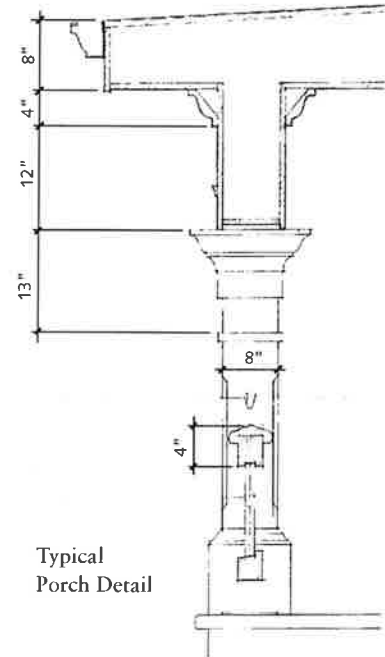
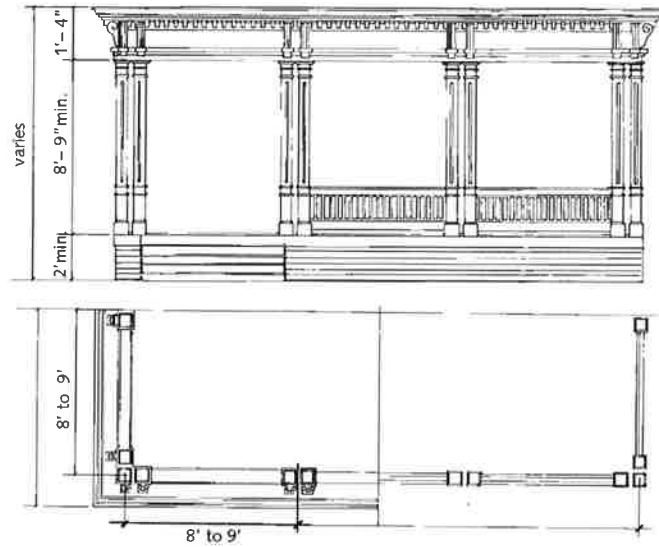
Painted, operable shutters are encouraged on single windows. Shutter styles can either be paneled or louvered.



Typical Carpenter Gothic Porches



Typical Italianate Porch



Typical Porch Detail



Carpenter Gothic Porch Locations

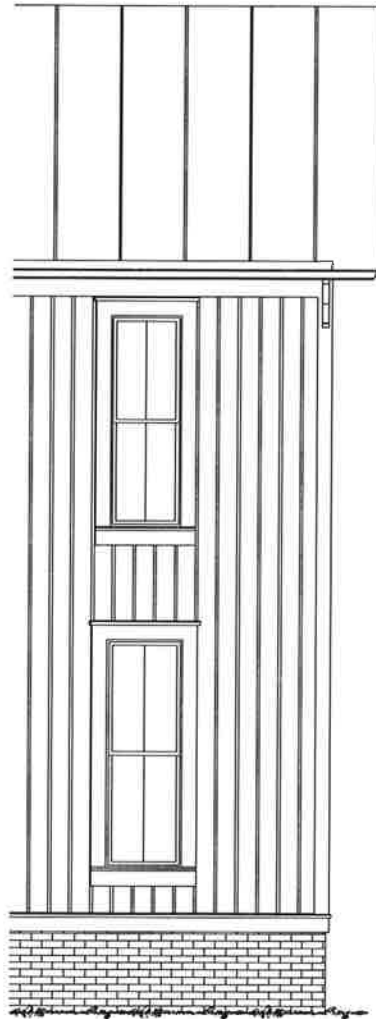
Italianate porch locations

### Porches

Porches can be one or two stories with either shallow hipped roofs or as a temple front gable. Columns are typically 9 to 10 feet high. Two-story porches (often with a temple front gable) may have 8 to 9 foot columns at the second story.

Carpenter Gothic porches typically have 8" square stock or square chamfered columns with shallow entablatures. Decorative, bracketed columns and cut-out railing patterns are common. Porch roofs are hipped and typically standing seam metal.

Italianate porches are characterized by tall proportions, deep, bracketed entablatures, and square stock or architecturally correct classical columns. Porch roofs are often flat with balconies and railings common to the style.



## Materials

Shutters: Wood panel or louver, operable with appropriate hardware.

Siding: Stucco, wood, or composition board with beveled, shiplap, vertical board and batten, or beaded lap profile.

Brick: Sand face standard or modular brick in Flemish, Running, or English bond patterns, selected from approved Ledges palette. Mortar shall be buff color.

Roofing: Standing seam metal, 5-V metal, and slate roofs are encouraged. Cedar shake and fiberglass shingles are also acceptable.

Windows: True divided light sash with sill. Simulated divided light sash windows to be selected from approved Ledges palette.

Trim: Wood. Moulded millwork for ornate built-up sections is acceptable.

Soffits and porch ceilings: GWB, plaster, T&G wood or composite. Continuous perforated soffit materials, vinyl, or aluminum are not permitted.

Gutters: Half round metal.

Downspouts: round metal.

Foundations: Brick as noted above of or stone in dry-stack pattern.

Columns: Wood, fiberglass or composite true architectural grade. Columns should have correct entasis/taper (if applicable) and authentic cap and base details. "House column" grade or aluminum columns are not acceptable. Turned baluster columns should be cut from stock at least 8" wide.

Railings: Straight or turned wood or composite balusters, or wrought iron or forged steel. Straight balusters shall be maximum 5" OC. Turned balusters should be spaced consistent with the style. Railing should include appropriately detailed hand and bottom rails.

Chimneys: Common brick or stone

Three Foot Fences: Smooth wood picket painted or prefinished metal.

Six Foot Fences: Painted wood or prefinished metal.

## Colors

Siding: White. Other colors to be selected from approved list.

Roof Shingles: Roof shingles to be black or dark grey. Standing seam and 5-V roofs may be natural, black, dark green or dark red. Shingles to be black or dark grey.

Accent: White or a rich color to match trim.

Brick: To be selected from approved Ledges palette.

Windows: Sashes and frames are typically white. Other choices from approved Ledges palette subject to approval.

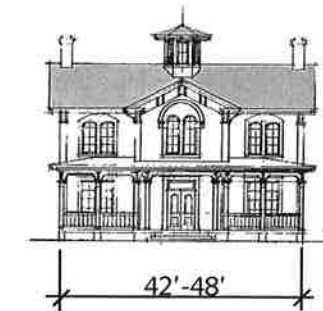
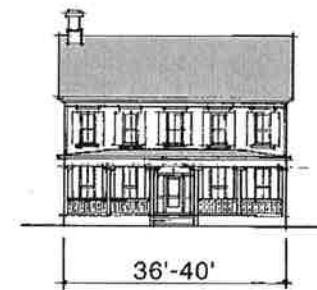
Trim: All windows, doors, corner and eave trim to be white. Other trim colors from approved Ledges palette subject to approval.

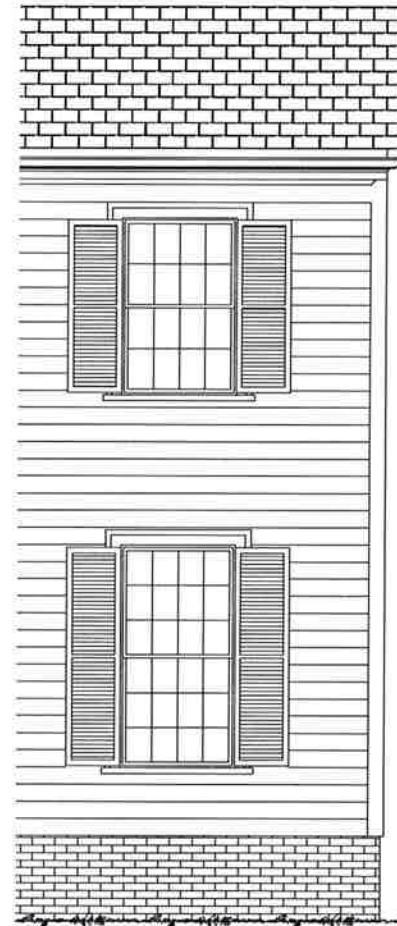
Gutters: White or copper.

Downspouts: White or copper.

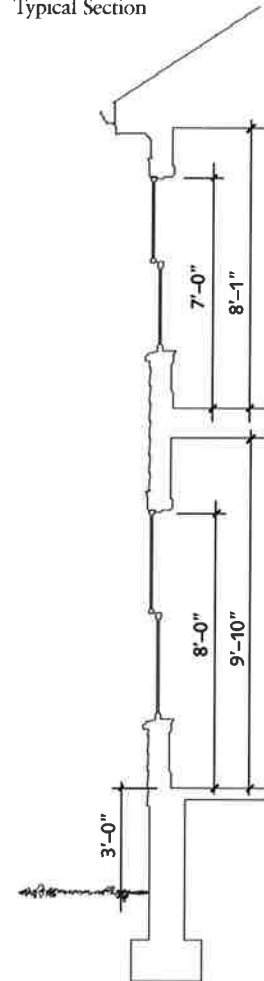
Shutters: Black or dark green.

Fencing: Wood is to be white, metal is to be black or dark green.





Typical Section



#### Essential Elements include:

- A. Simple straightforward volumes, often combined to create a more complex house. Roof ridges usually run parallel to street.
- B. An orderly, but not necessarily symmetrical, relationship between windows, doors and building mass.
- C. Frequent use of side porches and porte cochères in addition to small scale front porches.
- D. Simplified versions of classical columns and details on porches.
- E. Multi-pane windows, usually 6 over 6 or 8 over 8, which result in broader proportions than those found in the classical style.

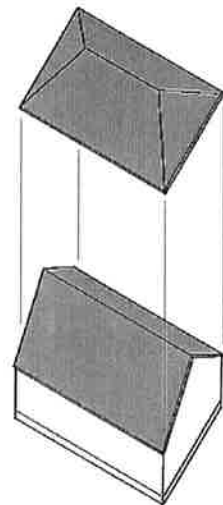
#### History and Character

This was the most popular style for domestic architecture throughout the Huntsville area from 1900 until 1940. Its principal areas of elaboration are entrances, cornices and windows. The original Colonial Revival style marked a rekindling of interest in early American houses along the eastern seaboard. The style is closely related to the Classical style and is characterized by the Classical principals of balance and composition. It is distinguished from the Classical in the scaled down proportions of the elements. Windows will be wider than tall slender Classical windows, and porches will have more slender, less ornate, columns.

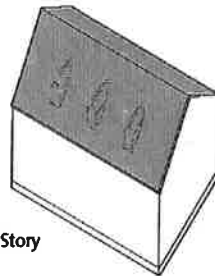
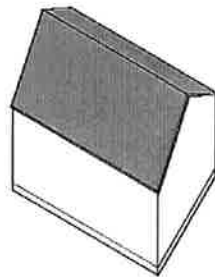
One of the principle design elements is the side porch which is often screened in as a summer sitting porch.



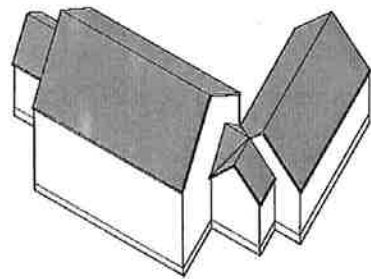
© 2000 Urban Design Associates



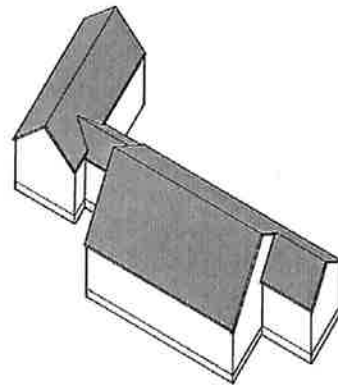
One and One-half Story



Two Story



Main Body with Side Wings



### Basic Massing

The basic Colonial Revival form is a 24 foot to 40 foot wide rectangular solid oriented parallel to the street. Both gabled and hipped roof forms are common with pitches ranging from 8-in-12 to 10-in-12. Compound roof forms are not recommended.

### Combinations

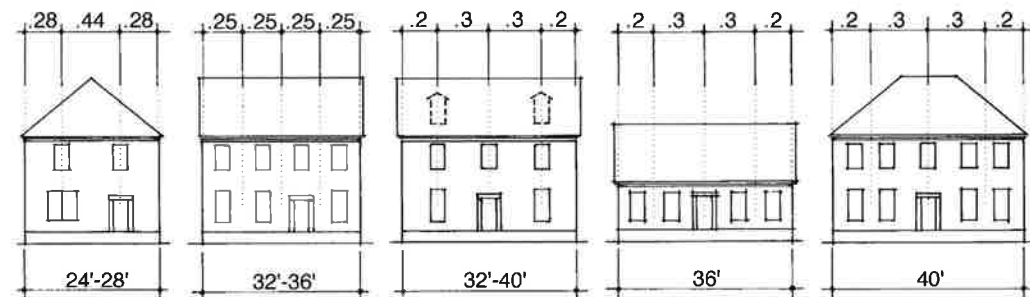
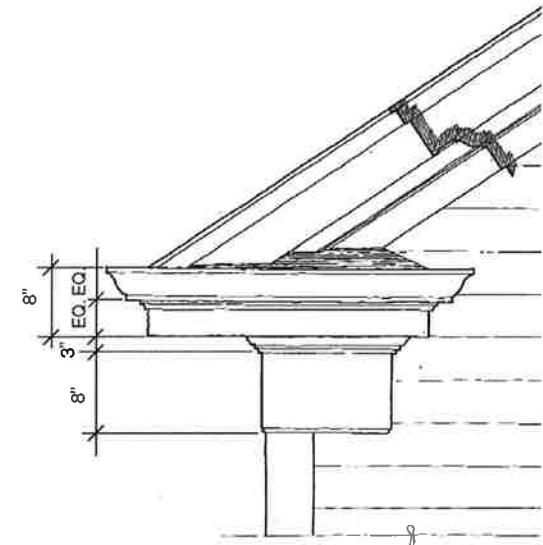
The main body of the house may be combined with smaller side wings, porches and garages to create complex forms and larger living spaces. The architectural character of the appendages should match that of the Main Body of the house. Small dormers with gabled or arched roofs, may be added to provide light to half story and attic spaces. Dormers with hipped roof forms are not permitted.

### Eave Details

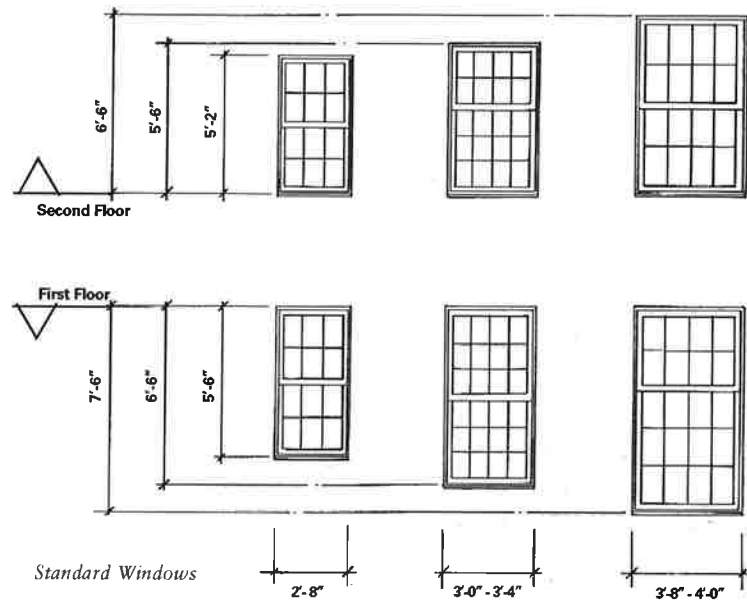
Eaves generally use Classical mouldings and proportions although overhangs are typically deeper than Classical counterparts. Elongated dentil "modillion" brackets are often used at the intersection of the soffit and fascia.

### Foundation

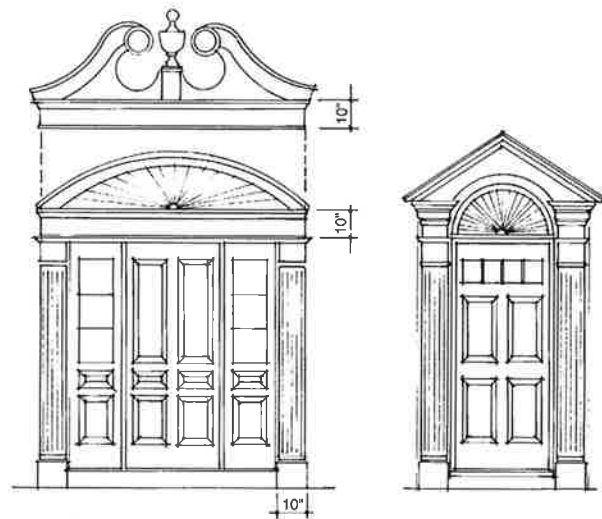
A brick or stone skirt is required around the main body of the house, wings, porches and attached garages.



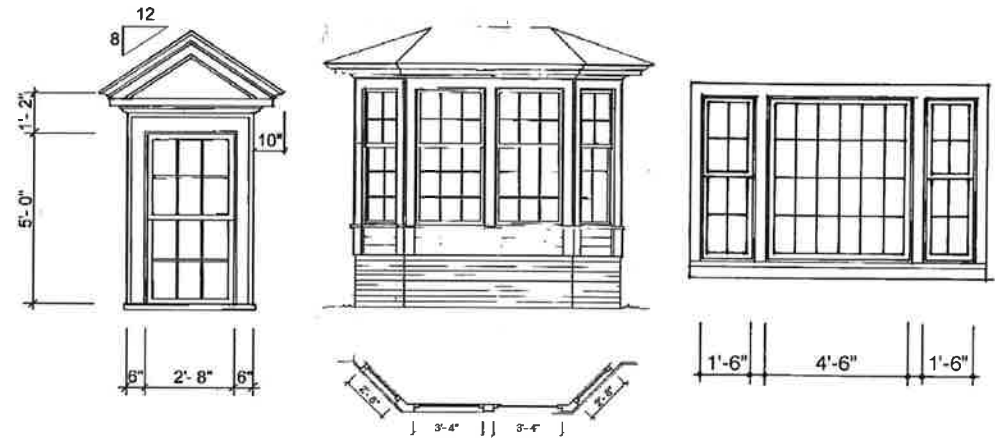




Standard Windows



Typical Doors



Dormer Window

Bay Window

Triple Window

### Standard Windows

Most Colonial Revival windows should have double-hung sashes with a 6, 8, 9 or 12 pane divided light appearance. Single pane lower sash appearance is acceptable. Window sash proportions should be 1.9H(Height) to 1W(Width) on the ground floor and 1.66H to 1W on the second floor.

### Special Windows

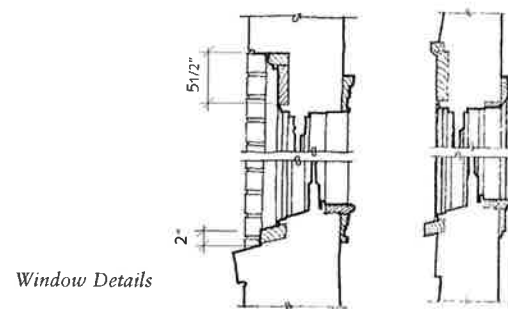
Special Windows include double hung with a round top upper sash, doubles, triples and bays. Bay windows should have angles from 45° to 60° and should extend to the ground. Only single windows may have shutters.

### Dormer Windows

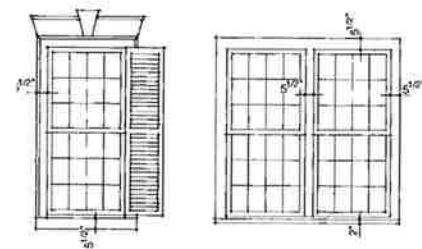
Dormer windows are typically 4 inches narrower than those used in the façade and should conform to the formula Height(H)=1.66 x Width(W).

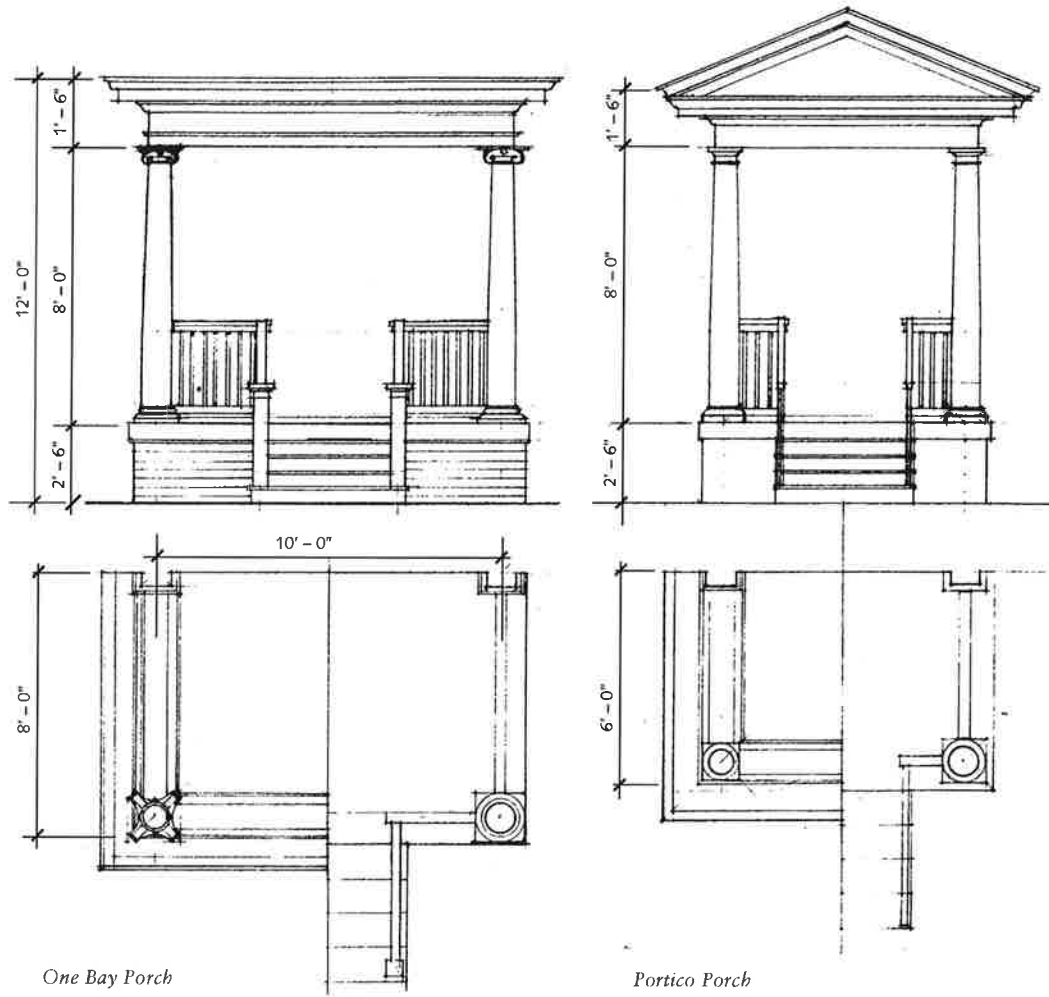
### Trim

Doors, windows and corners should have trim boards with a minimum dimension of 5/4 inches x 3-1/2 inches. 5/4 inch x 5-1/2 inch wide trim boards are preferred. Decorative, prefabricated trim elements, such as the rams head and sunburst pediments illustrated, are characteristic of the style and are encouraged. Transoms over doors are recommended where space permits.



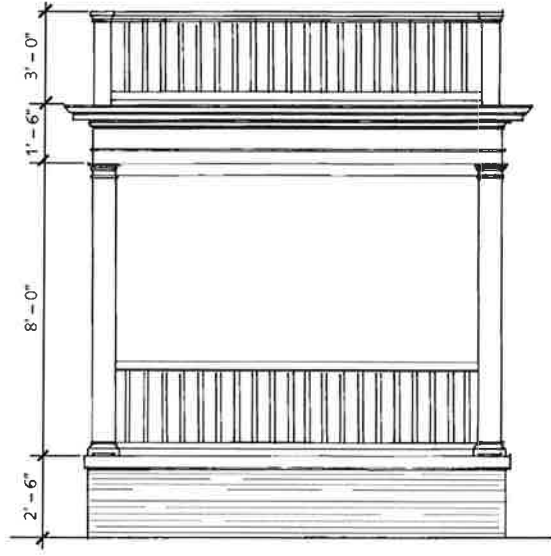
Window Details



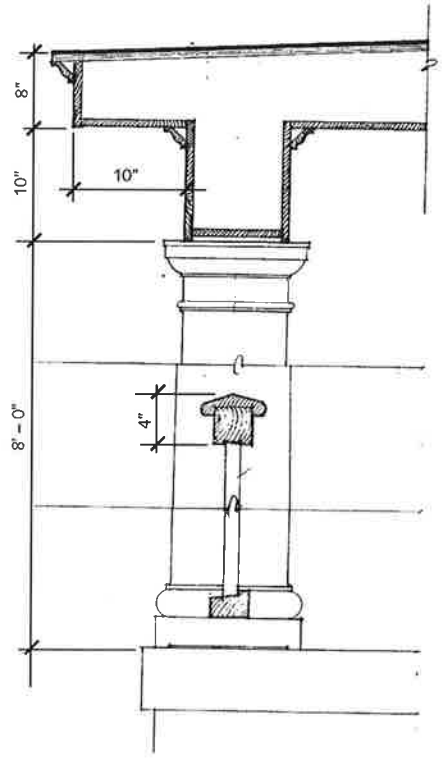


One Bay Porch

Portico Porch



Side Porch



Typical Porch Detail

**Porches**

The Ledges Colonial Revival Style has two types of porches: Entrance porticos and side porches. Entrance porticos should be 6 to 8 feet deep and may feature a variety of profiles which include: a gabled roof with an elliptical arched profile, a crosshead profile cornice with or without a 2 foot-6 inch balustrade, and a plain pediment. Balustrades are typically 1 inch x 1 inch square, spaced at 4 inches on center. Columns are typically 10 inches in diameter in either an Ionic or Doric Order.

The side porch typically features square columns supporting a beam expression and a flat, gabled or hipped roof. Columns are typically an 8 inches square box column or an 8 inch round Tuscan column and are often used in pairs.



## Materials

**Shutters:** Wood panel or louver, painted, operable with appropriate hardware.

**Siding:** Wood, or Composition Board with Beveled, Shiplap or Beaded Lap profile.

**Brick:** Sand face standard or modular brick in Flemish, Common, or English bond patterns (to be selected from approved list).

**Roofing:** Standing seam metal, 5-V metal, slate, asphalt or fiberglass shingles.

**Windows:** True divided light sash with sill. Simulated true divided light windows to be selected from approved list.

**Trim:** Wood and moulded millwork for built-up sections.

**Soffits and porch ceilings:** External GWB or T&G wood. Vinyl or aluminum are not permitted.

**Gutters:** Half round metal.

**Downspouts:** Round metal.

**Foundations:** Brick as noted above or stone in dry-stack pattern.

**Columns:** Wood, fiberglass or composite in true architectural grade. Columns should have correct entasis/taper and authentic cap and base details. "House column" grade or aluminum columns are not acceptable.

**Railings:** Straight or turned wood or composite balusters, wrought iron or forged steel.

**Chimneys:** Common brick or stone.

**Three Foot Fences:** Smooth wood picket painted or prefinished metal.

**Six Foot Fences:** Painted wood or prefinished metal.

## Colors

**Shutters:** Black or dark green.

**Siding:** White or off-white. Other colors to be selected from approved list.

**Brick:** All brick to be selected from Ledges palette. Brick may be painted white, off-white, or other colors selected from approved list.

**Roof Shingles:** Roof shingles to be black or dark grey. Standing seam may be natural, black, dark green or dark red.

**Windows:** Sashes and frames to be white.

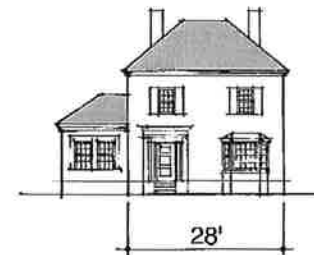
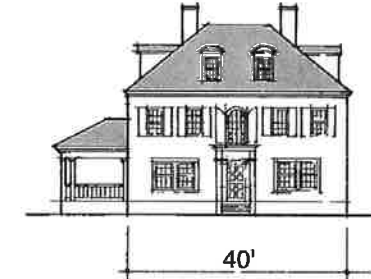
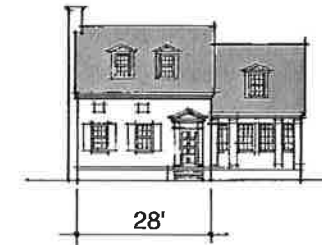
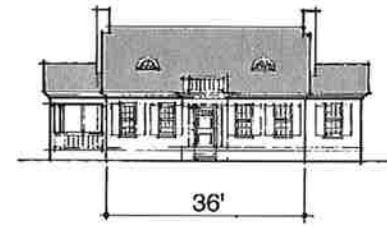
**Trim:** All windows, doors, corner and eave trim to be white or off-white.

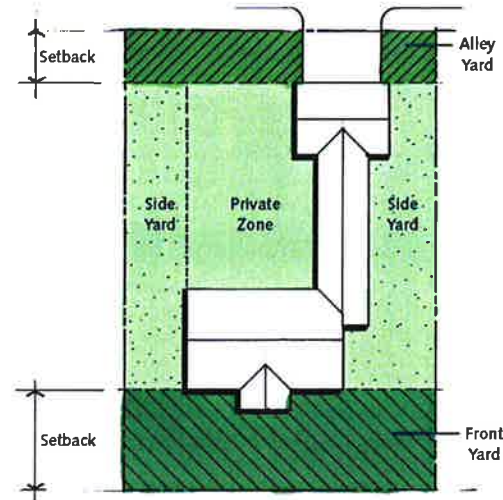
**Accent:** White or a rich color to match trim.

**Gutters:** White or copper.

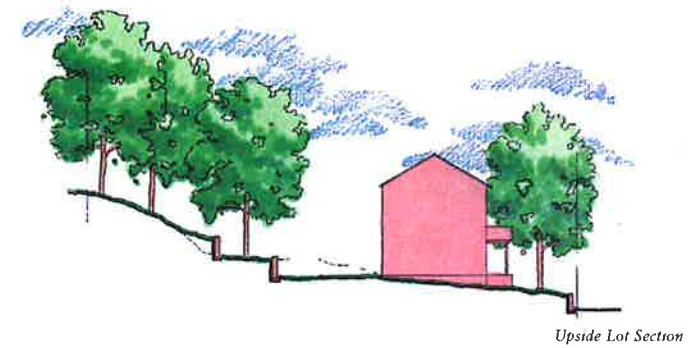
**Downspouts:** White or copper.

**Fencing:** Wood is to be white, metal is to be black or dark green.

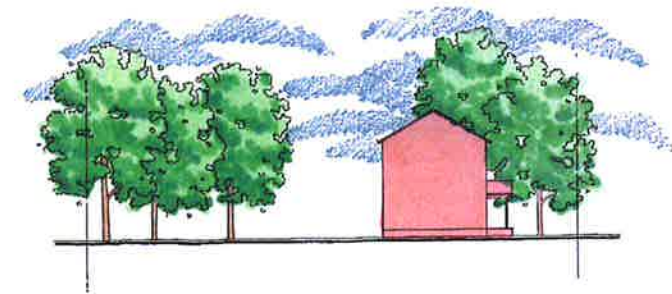




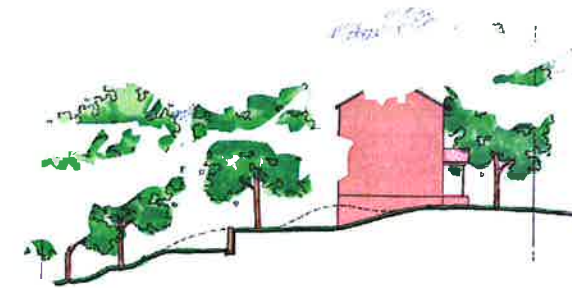
Typical Lot Zones



Upside Lot Section



Level Lot Section



Downside Lot Section

## General Principles

The community of The Ledges is located on a dramatic forested mountaintop that has spectacular views in all directions, overlooking the city of Huntsville to repeating ridge-tops and then to the rolling farmland beyond. Individual lots within this community should be designed to be harmonious with the natural environs and take advantage of the unique character of the site. The house and its landscape will contribute to the distinct character of each neighborhood. Therefore the palette of plants and fences, as well as paving and lighting materials, must be consistent while allowing for individual expression and variety.

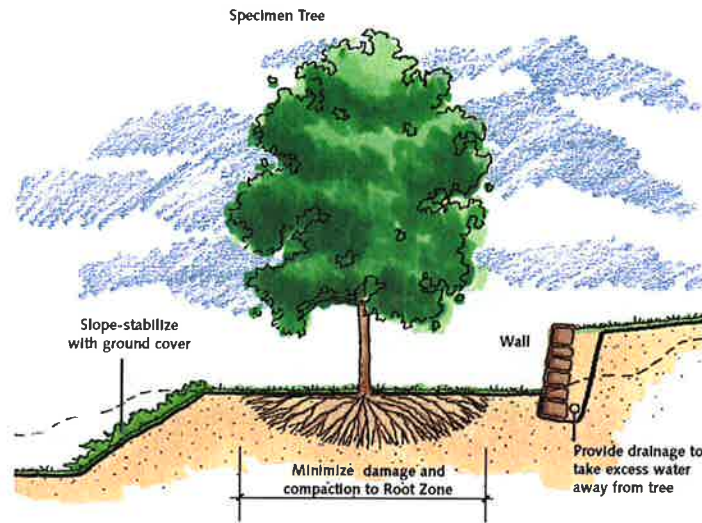
## Typical Lot Zones

As previously described, each lot is divided into zones that determine the placement of the house and all landscaping elements. The landscaping requirements for the Front Yard, Side Yard, Private Zone and Alley Yard within the lot are described in detail for each lot type on the following pages. These areas are delineated in the above diagram.

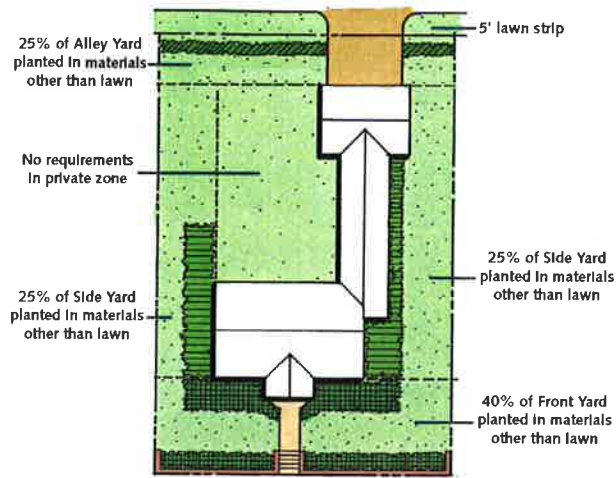
## Individual Lot Grading

Lot grading to locate each house shall be the minimum required to facilitate the construction of the house and provide adequate outdoor space. Wherever possible, the existing ground surface shall not be disturbed as to minimize clearing, erosion and revegetation. All efforts shall be made to retain large mature trees that exist on individual properties. Landscape plans should identify all grading changes to natural topography, shown as an overlay on top existing topography. All storm water shall be channeled to street and alleys storm drainage system catch basins. No storm drainage shall be channeled to neighboring lots.

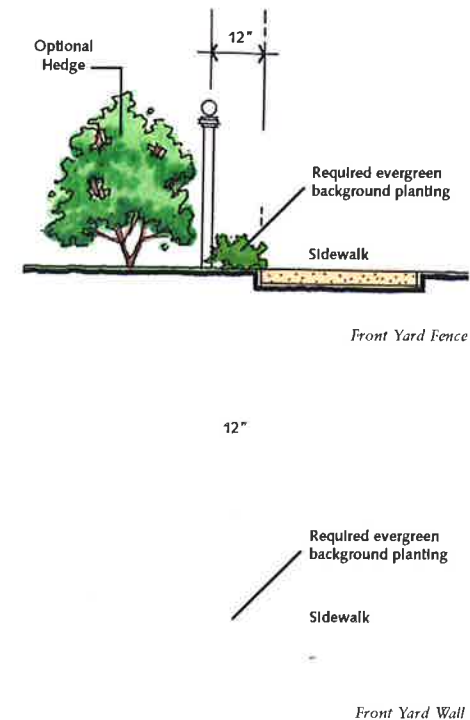
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Tree Preservation



Planting Zones



## Planting Requirements

Each lot can be seen as being comprised of zones which will require different intensities of planting. Therefore, the planting required in the Front Yard, Side Yard, Private Zone and Alley Yard will vary accordingly. General lot planting guidelines are:

At a minimum, 40% of the Front Yard, 25% of the Side Yard and 25% of the Alley Yard shall be planted in landscape materials other than lawn. Planting palette shall be a mixture of evergreen and deciduous material. At a minimum, 60% of the Front Yard and 40% of all other Yards planting shall be evergreen. In any one zone there shall be no more than two different species of canopy trees, two different species of ornamental trees, five different species of shrubs or hedges and four different species of groundcovers, perennials and/or annuals.

In the Alley Yards, evergreen hedge, up to 48 inches in height are required, if desired privacy fences/walls five (5) feet inside rear property line can also be erected. Provide a five foot wide lawn strip immediately adjacent to the alley pavement. No

canopy trees shall be planted in the Alley Yard.

Shrub plantings in the Front Yard should accent the main features of the house such as porches, walks and windows. Larger, evergreen shrubs can be used to frame the porch as it meets the main body of the house. Smaller shrubs can border walks and steps. Building corners can be softened with medium to large shrubs.

Hedges can be used to define Front, Side Yard and Private Zones and shall be limited to 36 inches in height. Screen plantings for privacy can be a mixture of ornamental trees and shrubs, so long as shrubs heights do not exceed 48 inches.

Ground covers can be used to unify planting beds across the front of the house. Evergreen ground covers shall be placed on slopes greater than 2:1 and between the public sidewalks and fences or walls.

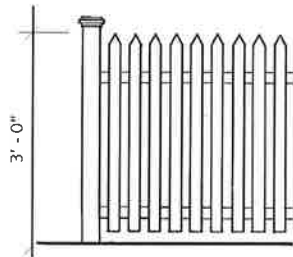
Perennials and annual flower beds should be integrated into all plantings to add color and variety.

Lawns shall be sodded/seeded with Bermuda certified type 419.

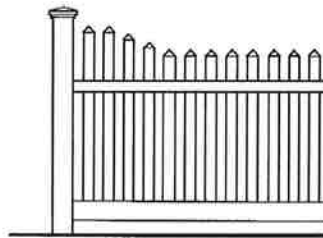
Sodded

## Existing Tree Preservation

When constructing any element within a private lot, the preservation of existing trees and the minimizing of disturbance shall be of the highest priority. The preservation of select specimen trees can be accomplished in a variety of ways, so long as all aspects of the trees health are taken into consideration. These would include minimizing root damage and compaction, maintaining positive drainage away from trees and allowing for adequate amounts of light. The use of walls, steps and slopes to preserve stands of trees will give newly constructed houses a timeless, enduring atmosphere.



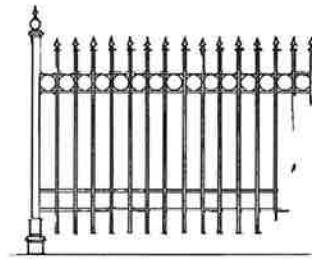
Flat Picket Fence



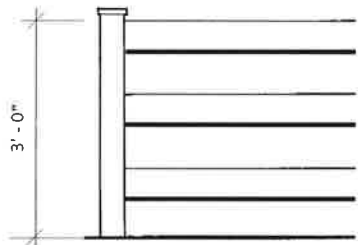
Square Picket Fence



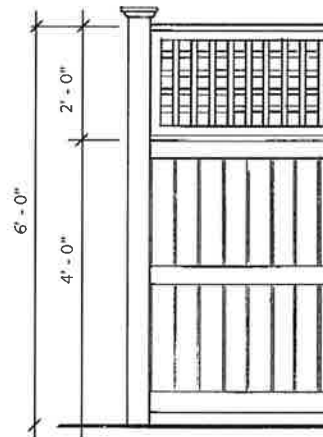
Simple Iron Fence



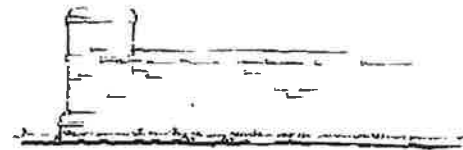
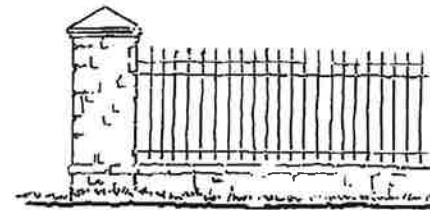
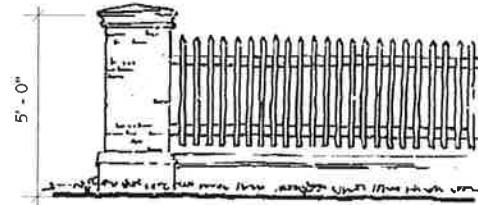
Ornate Iron Fence



Three-Rail Fence



Privacy Fence

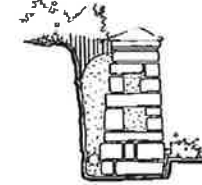


Wall & Fence Combinations

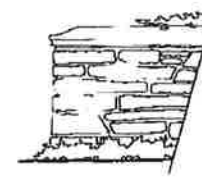
### Walls & Steps

Walls and steps can be used in Front Yard and Private Zone to change grade quickly and therefore minimize tree clearing. Walls can also be used to separate spaces and bring an architectural element into the landscape. Where required, walls along the public streets shall be a minimum of 12 inches away from sidewalk and an evergreen ground cover planted between. If walls are required in the Front Yard, they shall not exceed 30 inches in height and be constructed of a material that is in keeping with the architecture.

### Stone Wall Options



Section

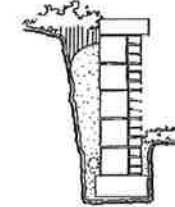


Ledgerrock Pattern

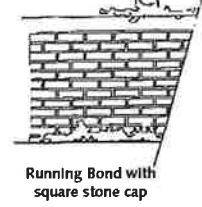


Drystack Pattern

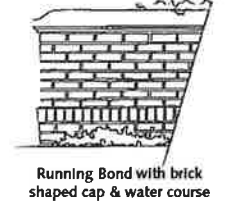
### Brick Wall Options



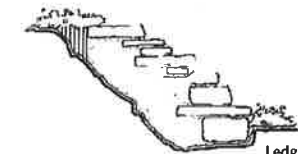
Section



Running Bond with square stone cap



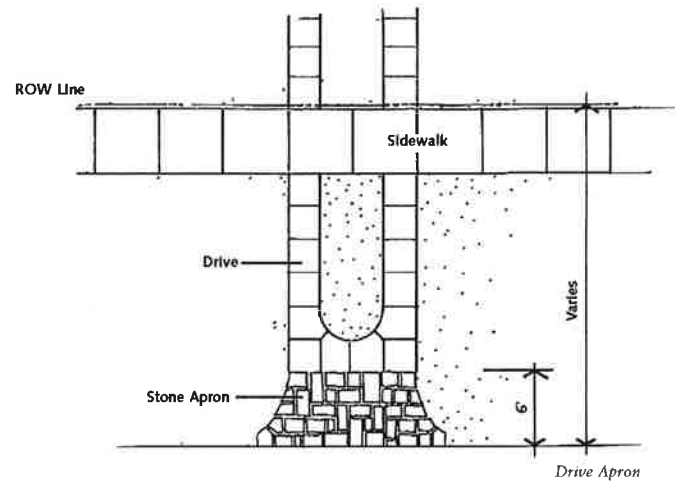
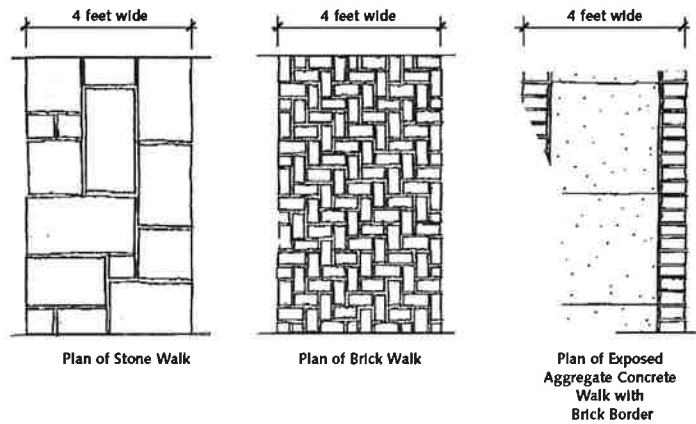
Running Bond with brick shaped cap & water course



Ledgerrock Section

### Fences

Fencing is intended to be used primarily on corner lots in the Front and Side Yard. It can be used to define private spaces and carry the architecture into the landscape. Front and Side Yard fences shall be a transparent style with pickets, constructed of either wood or iron and not to exceed 36 inches. Front and Side Yard fences shall be located 12 inches from the adjacent sidewalk and an evergreen ground cover planted between. If more privacy is desired in the Private Zone, fences can be opaque to a height of 48 inches with 24 inches of transparent fencing (lattice) above. This privacy fence can be constructed only behind the Main Body of the house. Rear and Side Yard fences adjacent to the golf course are described on the following page. D-5



### Pavement Surfaces

All paved surfaces within the private realm shall be constructed as to minimize their visual impact. All public roadways and alleys will be paved with bituminous containing an aggregate that will allow it to weather to a brown color. Private drives, parking pads can be paved in concrete, brick or gravel with an appropriate border. Tire strips, in lieu of a fully paved drive, are strongly encouraged. Pavement 'aprons' between the street and the drive are recommended to be blockstone or stone. Private walkways can be paved in brick, stone or concrete with exposed limestone aggregate. Front and or side street sidewalks which ajoin the lot is the owners responsibility to install. Sid-walks are to be four (4) feet wide, buff color, concrete mixed with exposed limestone aggregate.

### Irrigation

All landscaped areas including the grassed area in front and on side, between property line and pavement, shall be fully irrigated with an automatic underground irrigation system, and should provide for separation of zones for lawn, plant bed areas and grassed areas between property line and pavement.

### Lighting

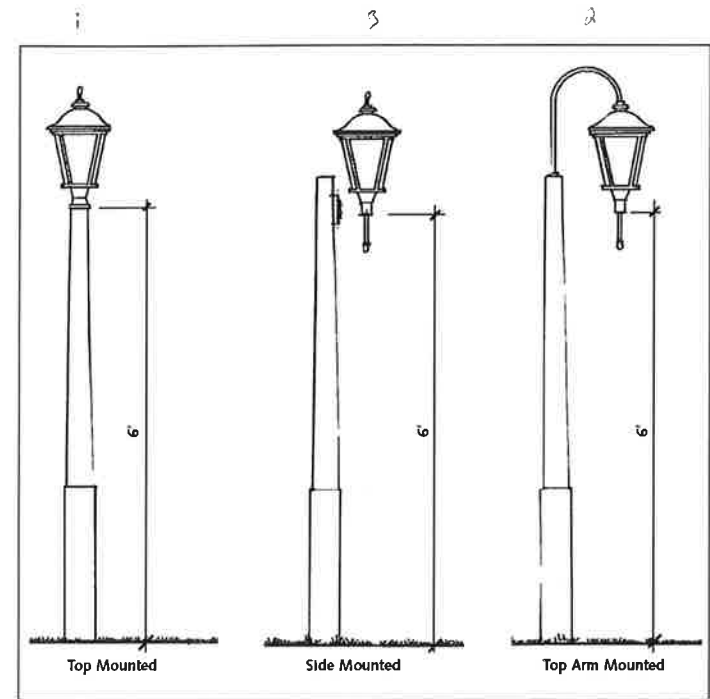
Lighting of private lots shall be the minimum required to provide an adequate level of safety. Size, scale and material of light fixtures shall be compatible with the architec-ture of the house. Post light fixtures at the sidewalk entrances from the street are to be gas. Post are to be black, metal, and six (6) feet from the ground to the bottom of the fixture. Some of the allowable types of fixtures are illustrated above.

### Screening

All air conditioning units and other mechanical equipment shall be screened from public view with shrubs, hedges, walls, fences or a combination of these. Ancillary structures, such as sheds or trash/refuge/garbage enclosures are to be integrated into the landscape as much as possible and screened from public view using similar meth-ods.

### Maintenance

Ease of maintenance and material longevity must be considered when developing landscape plans for individual lots. Landscape materials must look attractive when initially installed as well as in the future. Proper maintenance practices include ade-quate watering, weeding, fertilizing, edging, pruning, pest control and removal of dis-eased, dead or damaged materials Clues can be taken from the natural environment for issues of plant selection, hardiness and drainage. Careful planning up front will ensure a healthy and easily maintained landscape for years to come.



Light Fixture Options

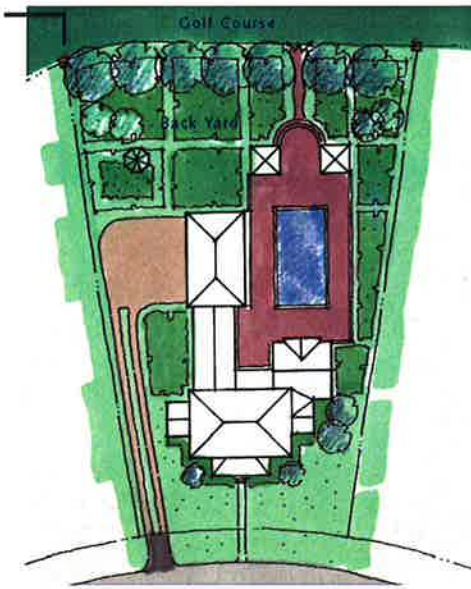
### Mailboxes

Mailboxes are to be located close to the edge of pavement which would give the Postman the ability to reach mailbox from his vehicle. Mailboxes are to be forty-two (42) inches from the ground to the bottom, post are metal with black finish.



Twickenham Rear Yards

Stone piers at corners



Ornate Iron Fence

## Golf Course Lots

Lots that share a rear or side property line with the golf course enjoy a unique address and amenity within the Ledges. Since the shared address with the course is a public address, much like that of the street, the landscape treatment will be extremely important to the overall character of the community. While there is no requirement for a fence or hedge for those properties where buildings or terraces are set-back a least 10 feet from the property lines adjacent to the course, two options are available to the homeowner if screening or privacy separation is desired or required. One of these options shall be installed if either terrace or buildings extend within 10 feet of the property lines adjacent to the course. The options all have as a common element stacked stone piers which will provide a consistent treatment along the course's edge. The two options are illustrated on this page:

### Option A - Stone Piers with Evergreen Hedge

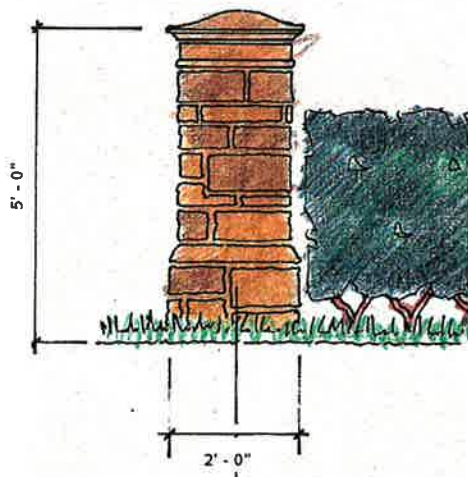
Evergreen hedges may be planted along the rear property lines, anchored by stacked stone piers at lot corners and gateway entrances. This treatment provides adequate screening of the Private Zone in keeping with the best traditions found in Twickenham and Mooresville. Hedge types include:

- Dwarf Burford Holly.*
- Nellie R Stevens Holly.*
- Japanese Cleystera.*
- Common Boxwood.*
- Leatherleaf Viburnum.*
- Carolina cherry Laurel.*
- Eleagnus.*
- Glossy Abelia.*

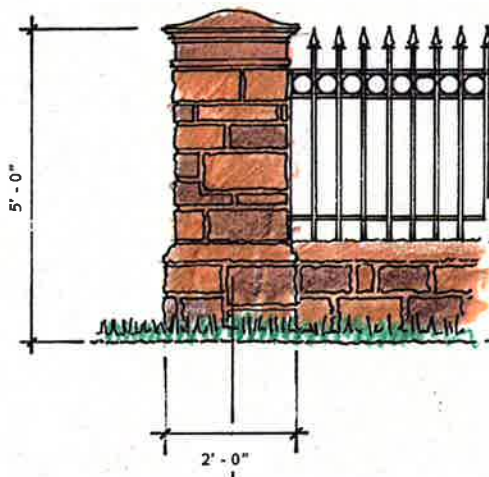
Hedges should not exceed five feet in height.

### Option B - Stone Piers with Decorative Metal Fencing

This option creates a more transparent edge with open grillework fencing similar to the fencing found in the historic Twickenham neighborhood in Huntsville. Fence styles can be selected from approved Ledges palette.



Option A - Stone Piers with Evergreen Hedge



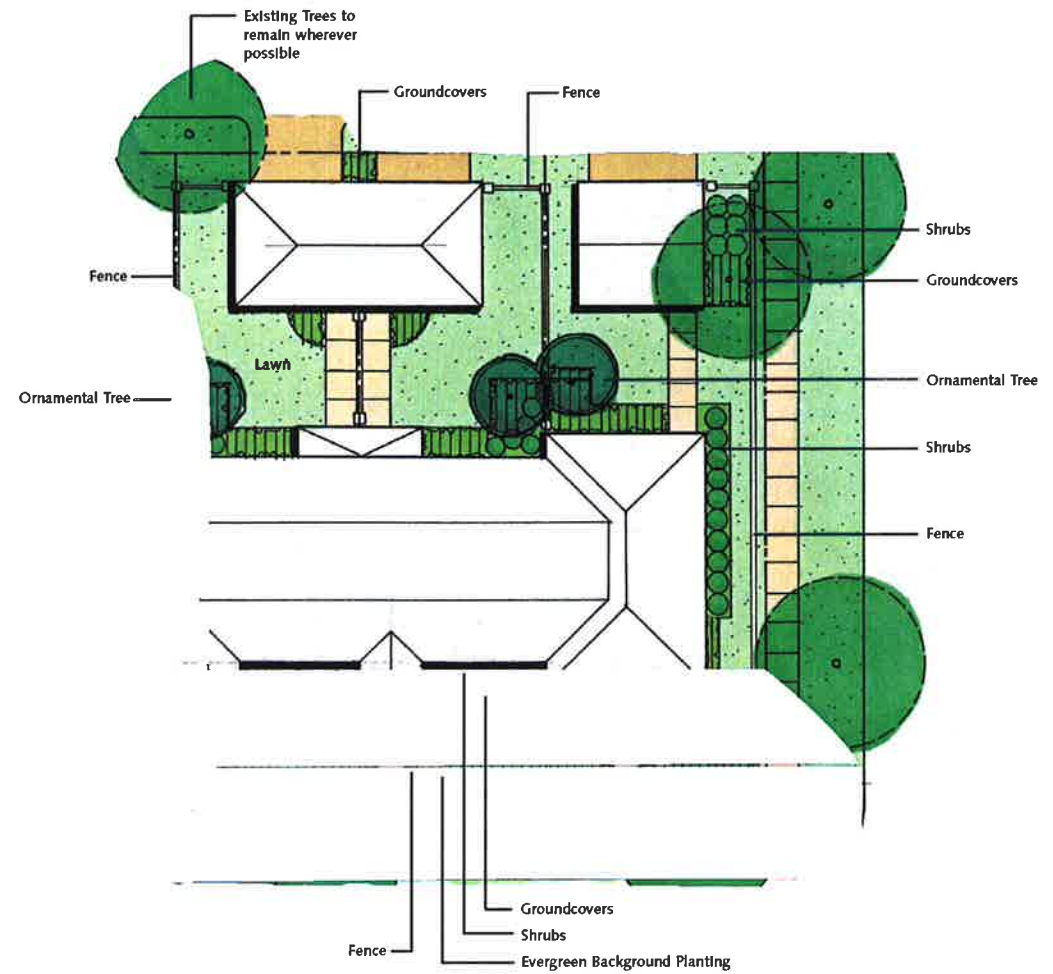
Option B - Stone Pier with metal fence engaged in wall.





## Townhouse Lot Landscape

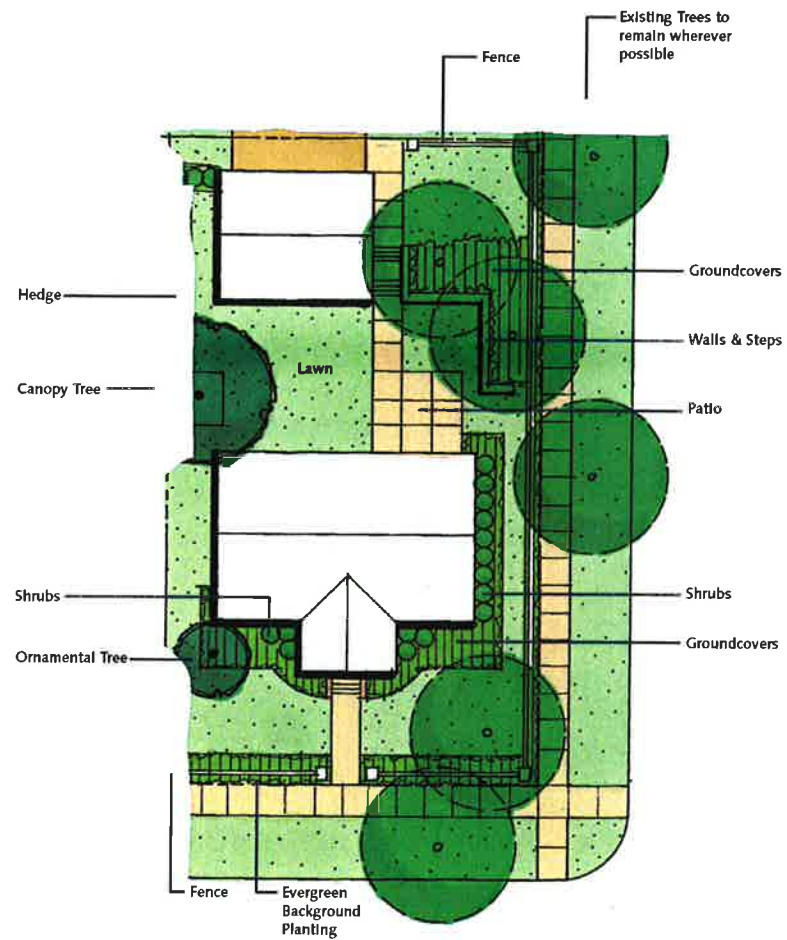
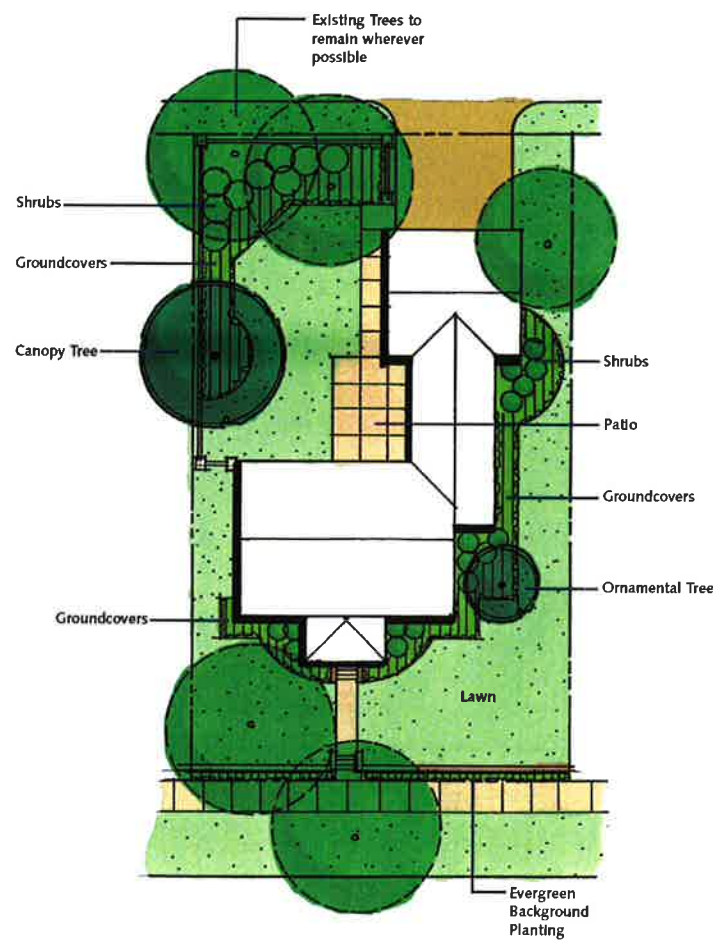
In addition to the general landscape guidelines, one small ornamental tree shall be planted in the Front Yard; a minimum of one large ornamental or canopy tree shall be planted elsewhere on the lot. Lawn areas shall not exceed 50% of the total lot area. A wood fence, parallel to the sidewalk and 12 inches away, shall be constructed in each Front Yard to give a uniform appearance.



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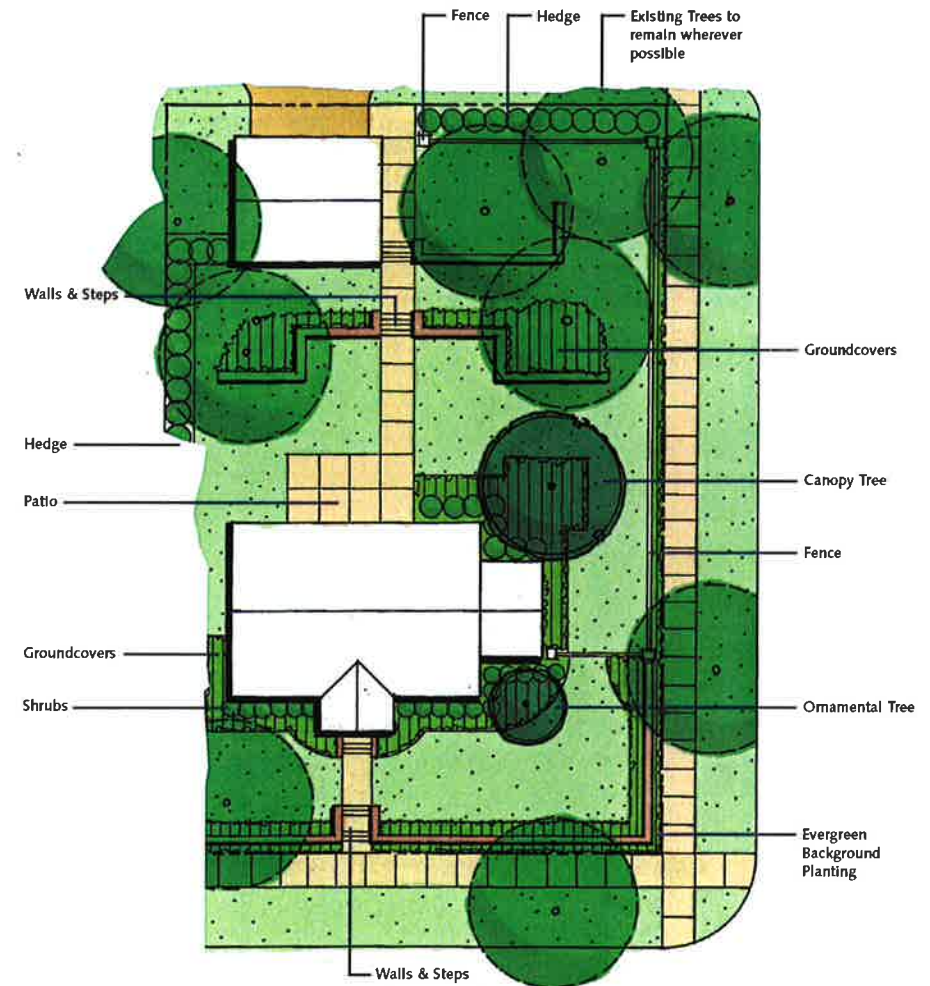
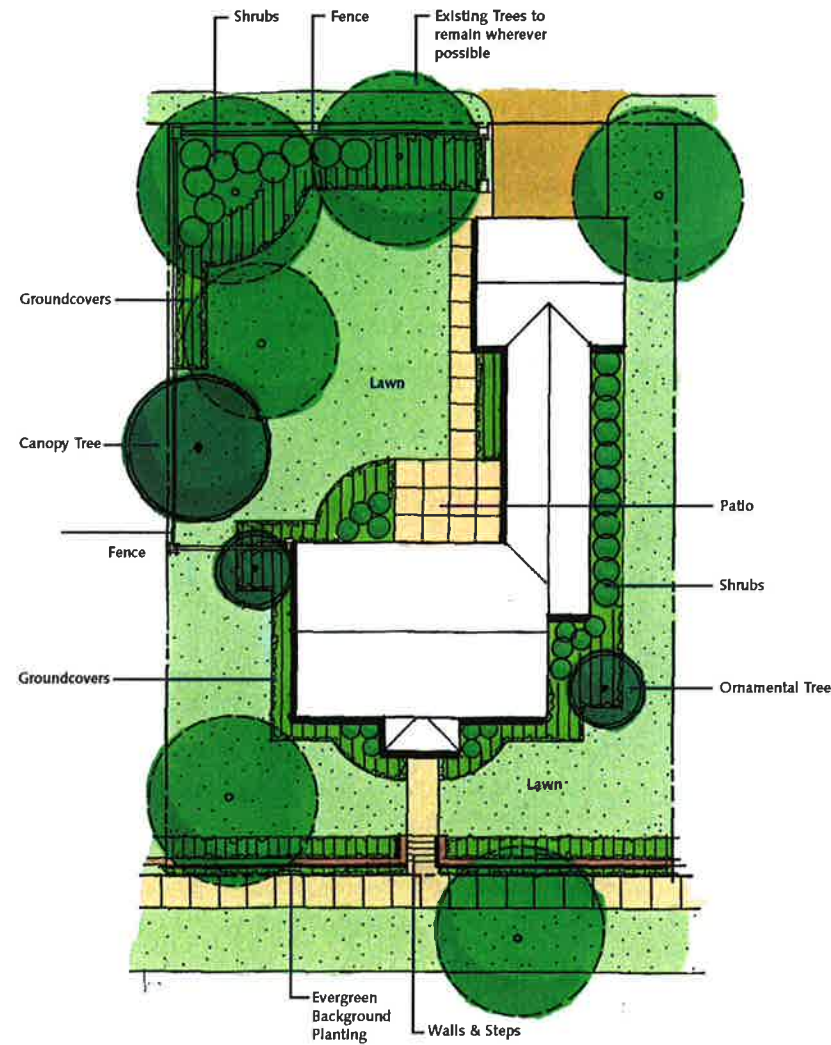
## Cottage Lot Landscape

In addition to the general landscape guidelines, one small ornamental tree shall be planted in the Front Yard; a minimum of one large ornamental or canopy tree shall be planted elsewhere on the lot. Lawn areas shall not exceed 50% of the total lot area.



## Villa Lot Landscape

In addition to the general landscape guidelines, one small ornamental tree shall be planted in the Front Yard; a minimum of one large ornamental, and one canopy tree shall be planted elsewhere on the lot. Lawn areas shall not exceed 50% of the total lot area. Corner lots shall construct a wood fence along the side street from the main body of the house back to the garage.



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## Estate Lot Landscape

In addition to the general landscape guidelines, one small ornamental tree shall be planted in the Front Yard; a minimum of two small ornamental, and one canopy tree shall be planted elsewhere on the lot. Lawn areas shall not exceed 50% of the total lot area. Corner lots shall construct a fence along the side street from the main body of the house back to the garage. Perimeter lots along the bluff shall take all measures necessary to retain existing trees in the Rear Yard.

